

**1:1250-SCALE LOCATION PLAN
TO ACCOMPANY A PLANNING APPLICATION.**

SITE LOCATION: 84, RECTORY AVENUE, ROCHFORD, SS4 3AP.

TO ACCOMPANY DRAWING NO. 10/0625:1

JUNE 2010.

AGENT: Barry Skinner, 16 Fountain Lane, Hockley, Essex, SS5 4SU.

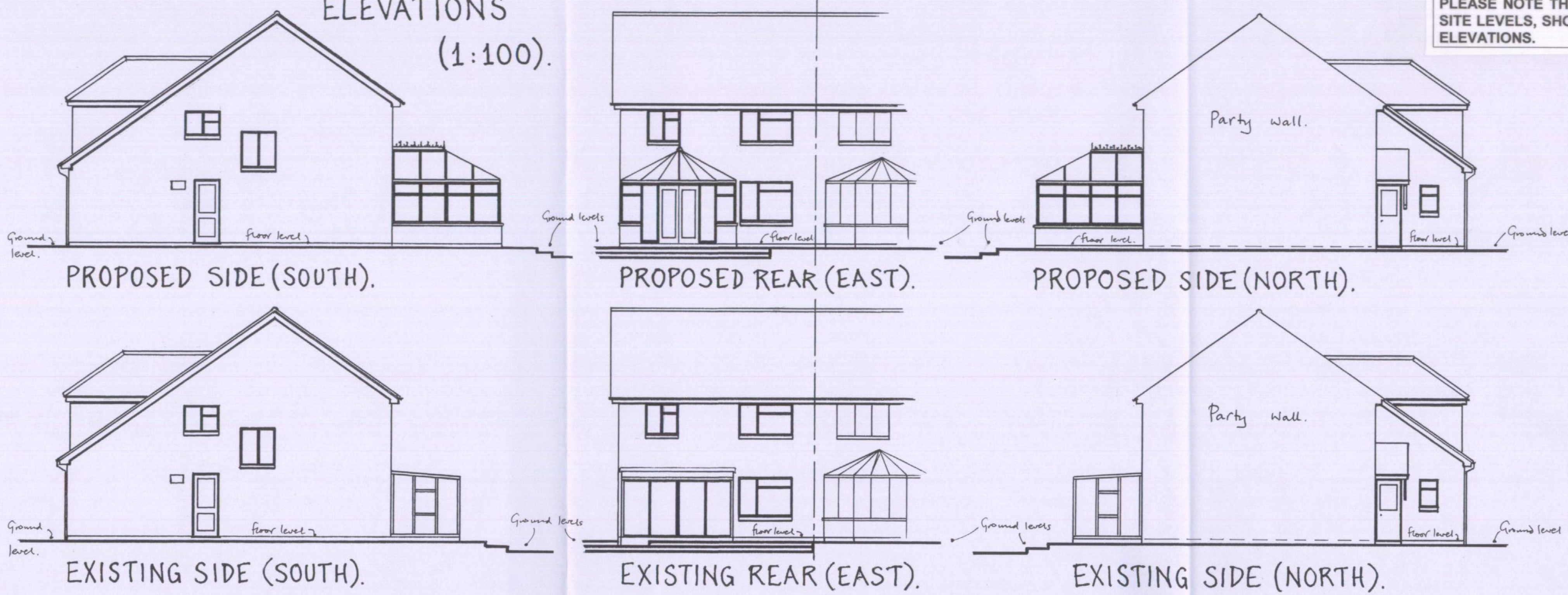
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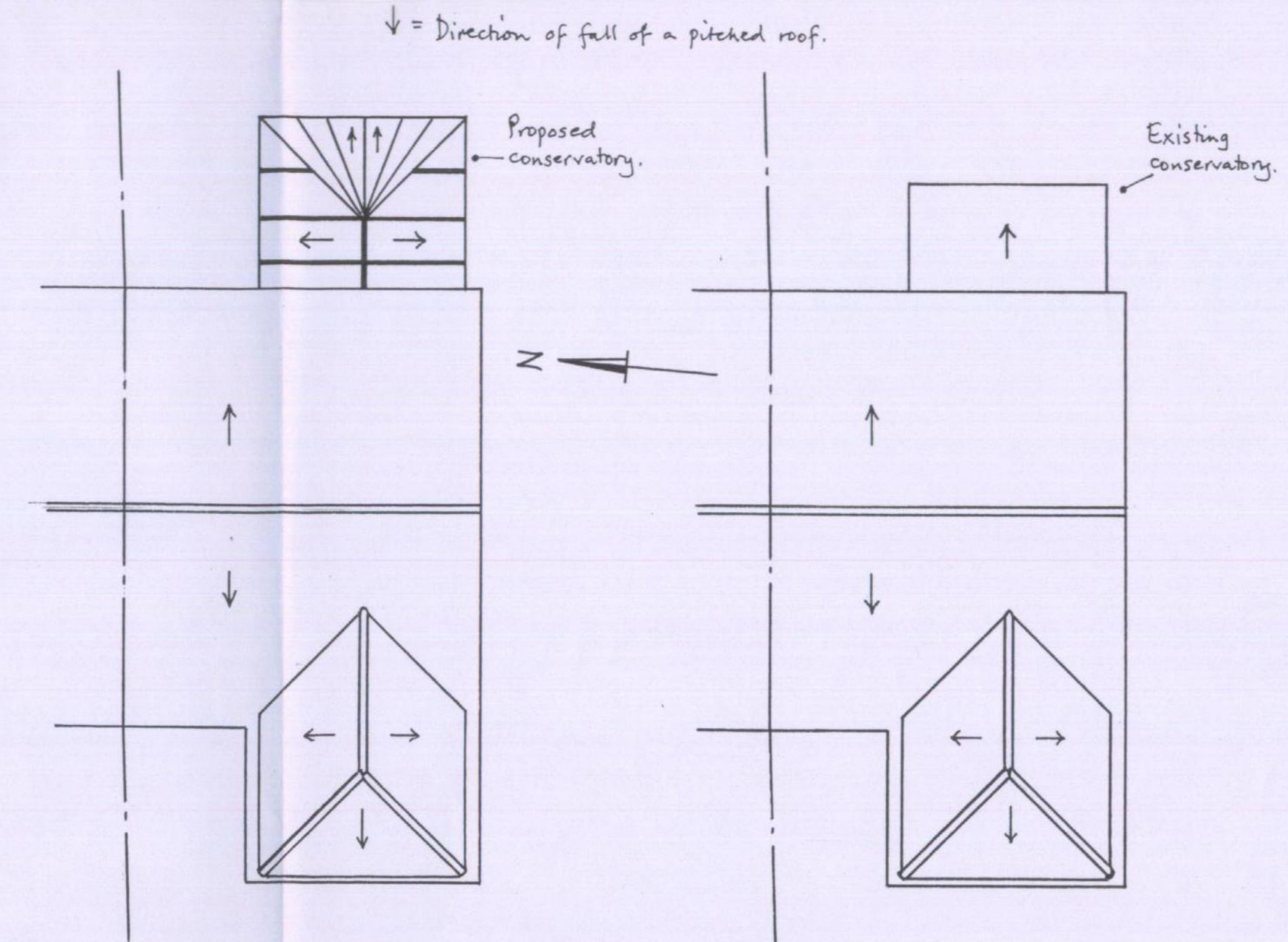


Application Site shown edged in red.

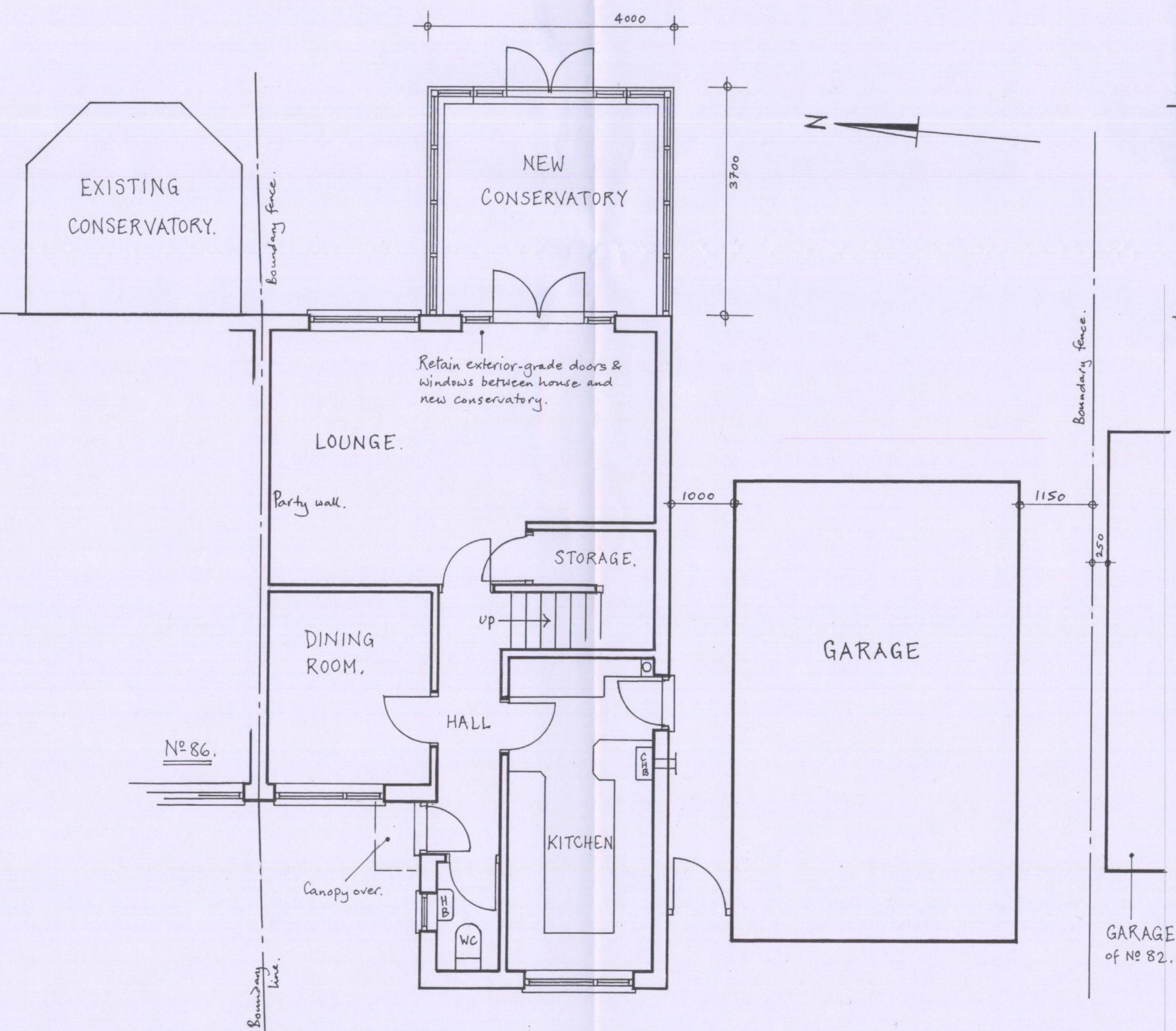
ELEVATIONS
(1:100).



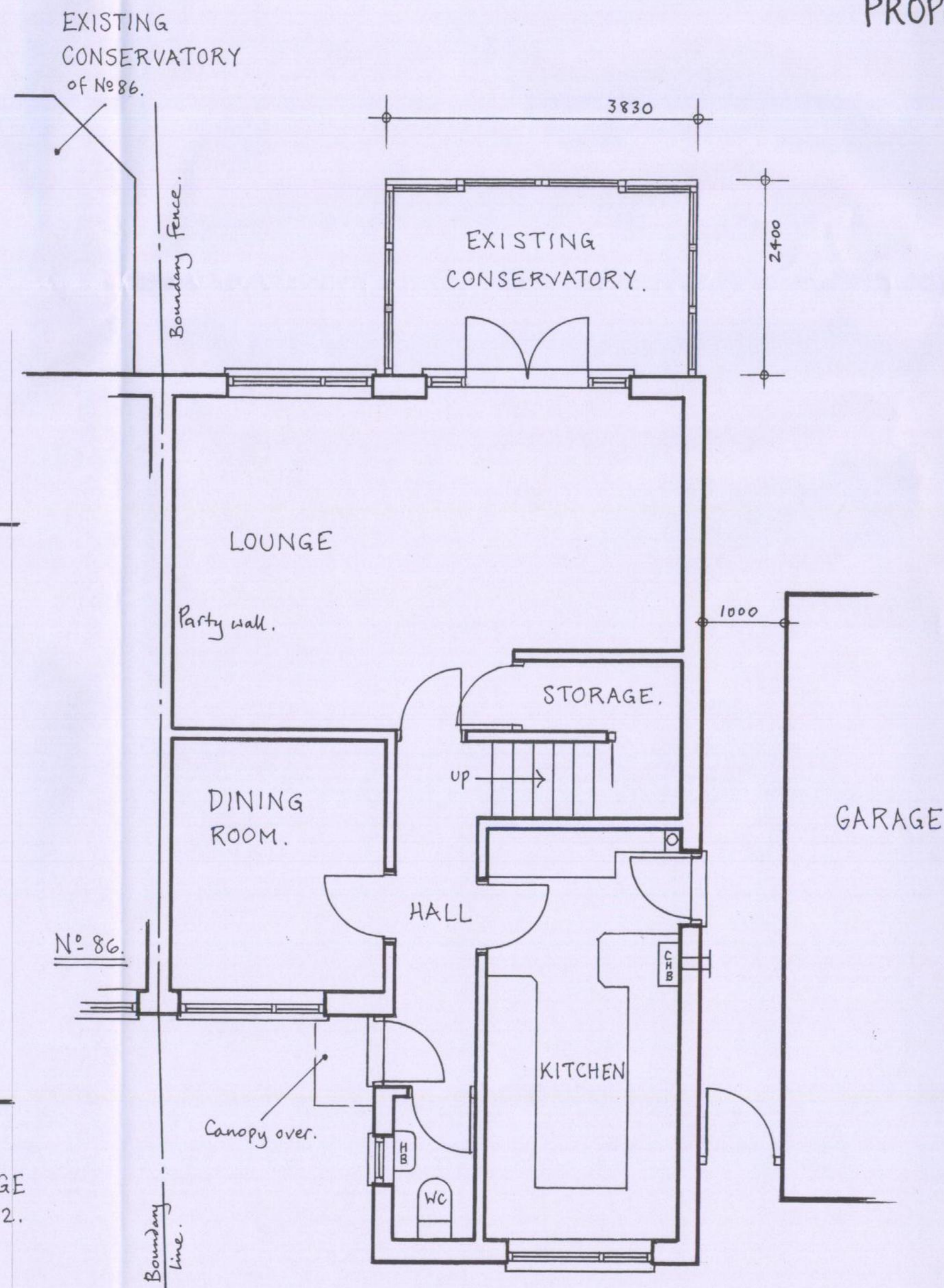
PLEASE NOTE THAT THERE IS NO PROPOSAL TO CHANGE SITE LEVELS, SHOWN IN BOLD AS GROUND LEVELS IN THE ELEVATIONS.



PROPOSED ROOF PLAN (1:100) EXISTING ROOF PLAN.



PROPOSED FLOOR PLAN (1:50).



EXISTING FLOOR PLAN.

IMPORTANT NOTICE.

- MATERIALS TO BE USED EXTERNALLY ON THE NEW CONSERVATORY.
- The conservatory is to be in white uPVC, with a hipped roof.
 - Dwarf walls are to be constructed in facing brickwork to match the existing walls of the house, and to a height of 600mm above the conservatory floor - which is to be level with the ground floor of the house.
 - Double-glazed windows and fanlights are to consist of shatterproof insulating safety glass with uPVC frames.
 - Roof-panels are to consist of double-glazed units in shatterproof insulating safety glass or multi-walled polycarbonate sheet, carried on aluminum rafters with uPVC coverings.
 - The roof apex is to be equipped with a uPVC capping, cresting and finial.

GENERAL NOTES.

- This drawing does not constitute a full technical specification, but is solely for the purpose of obtaining Local Authority Planning approval.
- It is understood that the proposed conservatory, with a footprint of less than 30 sq.m. and an exterior-grade double-glazed door and side panel to separate it from the house, is exempt from Building Regulations control. All building work is nevertheless to be undertaken in accordance with the Approved Documents issued under the Building Regulations, and is to comply with all conditions which may be specified by the Local Authority's Planning and Building Control Departments where appropriate.
- All dimensions are to be checked by the contractor from the specifications, and on site before the commencement of the installation.
- The contractor is to ascertain the positions of all services before the commencement of the works.
- The existing structure is shown as presumed only. Prior to the commencement of the works the Contractor is to fully expose the existing structure as appropriate and is to ascertain the suitability of the proposed works.
- Notional boundary position(s) indicated should be checked on site before the commencement of the works.
- All glazing shall comply with the requirements of BS 6262. Glass shall comply with BS 952. Safety glass shall comply with BS 6206. Glazing compounds used shall be of the approved type(s), and used in accordance with the manufacturer's instructions.
- Safe-breakage glass as defined by BS 6206 is to be installed in all areas defined as "critical locations" within Approved Document N Section 1. The following locations are considered "critical" in terms of safety:
 - Where glazing is located between finished floor or ground level and 800mm above finished floor or ground level in internal and external walls and partitions;
 - Where glazing is located between finished floor or ground level and 1500mm above that level in a door or in a side panel, next to either edge of the door.
 If clarification is required, refer to Diagram 1 "Critical locations in internal and external walls", as shown in the appropriate Building Regulations Approved Document N Section 1 page 6.

14. PARTY WALL etc. ACT 1996.

As deemed necessary under the Party Wall etc. Act of 1996 the building owner should serve notice on any affected party-wall neighbour and should include details of the works, the proposed start date for the work, the building owner's name and address and the address at which the works are to be carried out, together with a statement confirming that the notification served is "notice under the provisions of the Party Wall etc. Act 1996".

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PLANNING APPLICATION.

CLIENTS AND SITE LOCATION:
MR AND MRS ROGERS,
"BROOKLYN," 84 RECTORY AVENUE, ROCHFORD, ESSEX, SS4 3AP.

PROPOSAL:
ERECT A NEW UPVC CONSERVATORY TO THE REAR OF THE HOUSE TO REPLACE THE EXISTING SMALLER ALUMINIUM CONSERVATORY.

DRAWING NUMBER: 10/0625.1.

DATE: JUNE 2010.