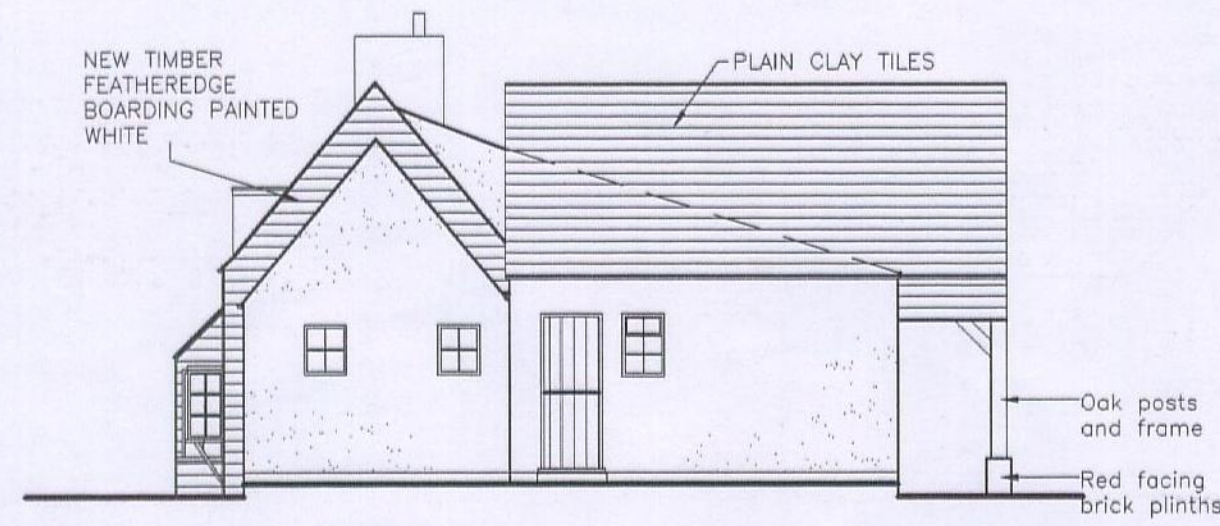


ROCHFORD DC  
APPROVED PLAN

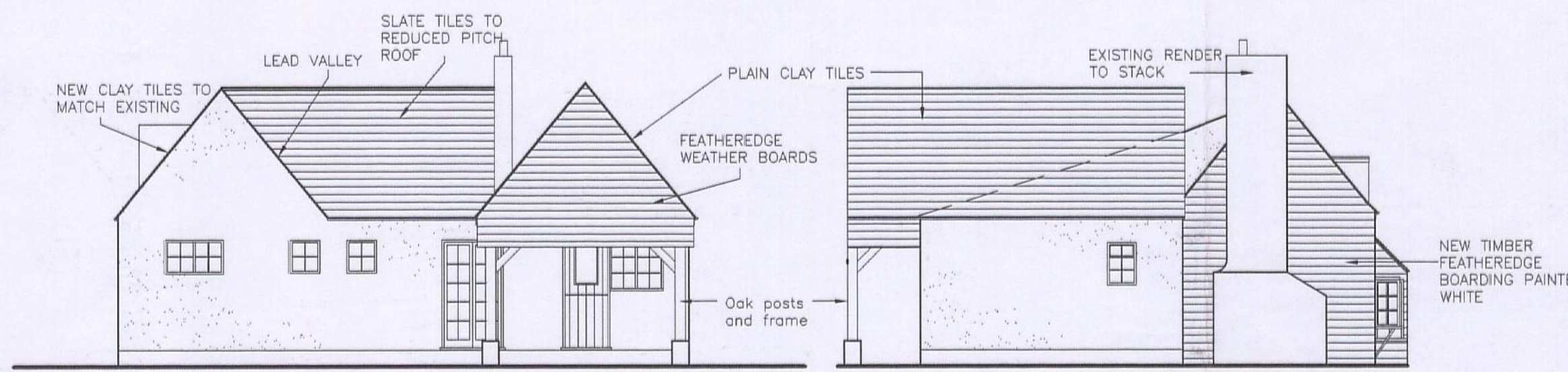
PROPOSED ELEVATIONS



FRONT ELEVATION



SIDE ELEVATION

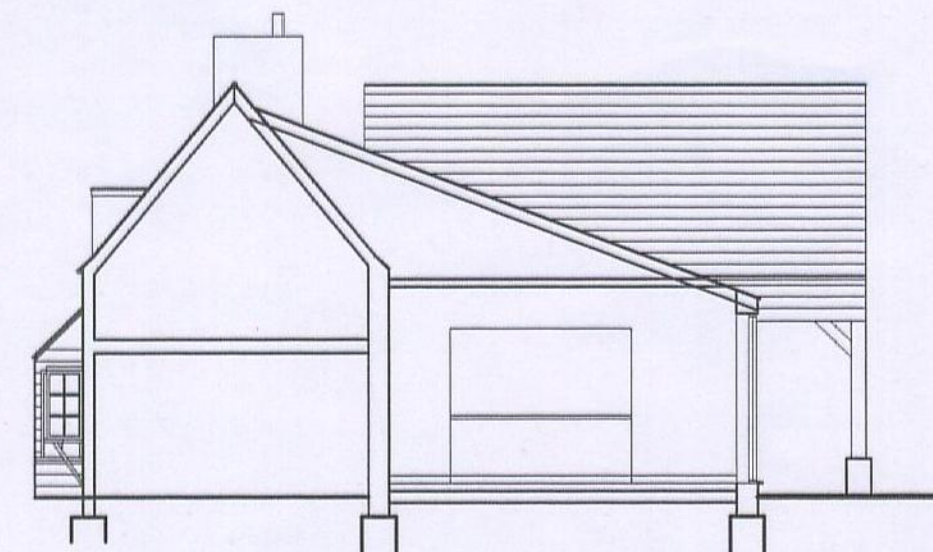


REAR ELEVATION

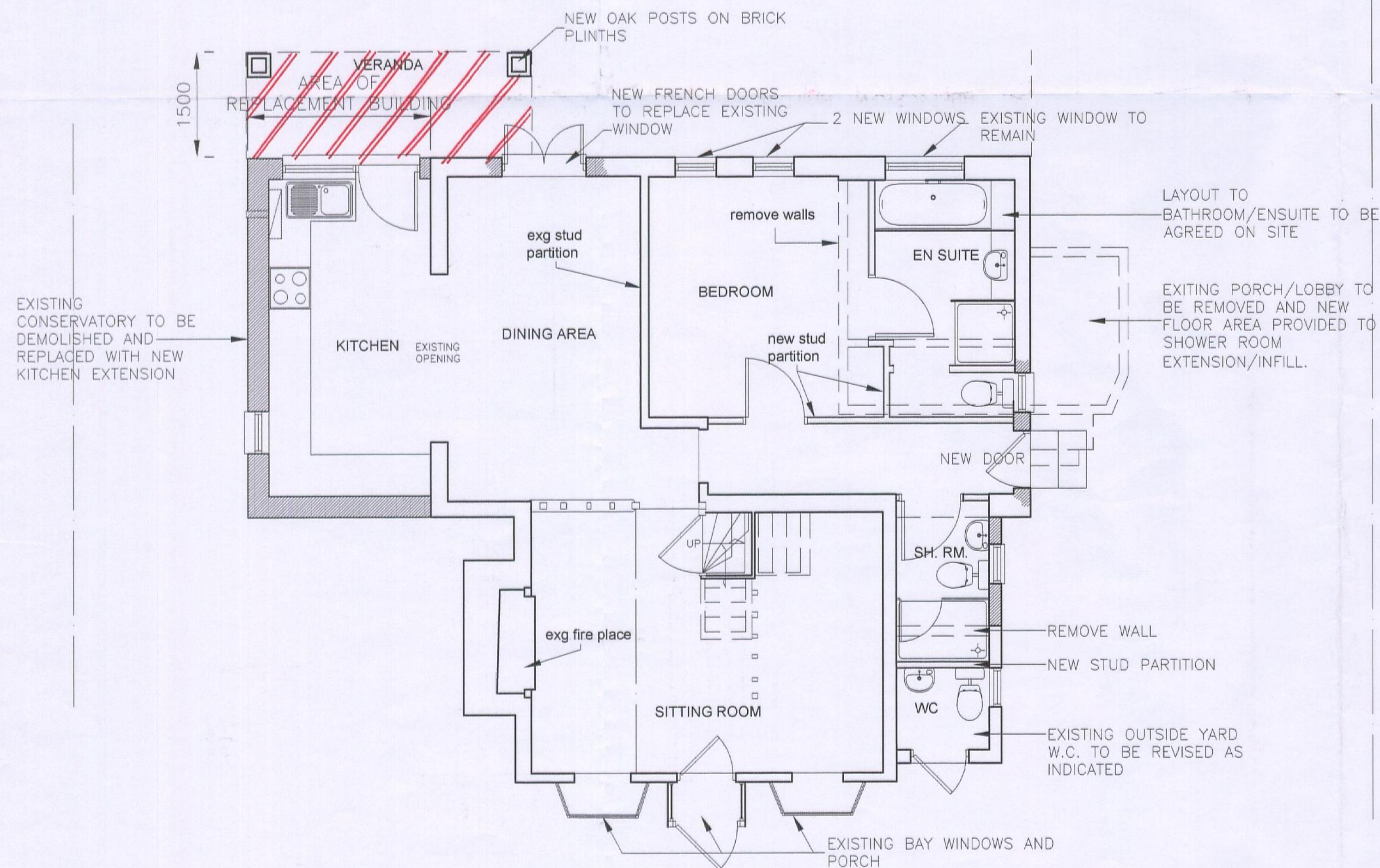
SIDE ELEVATION

MATERIALS

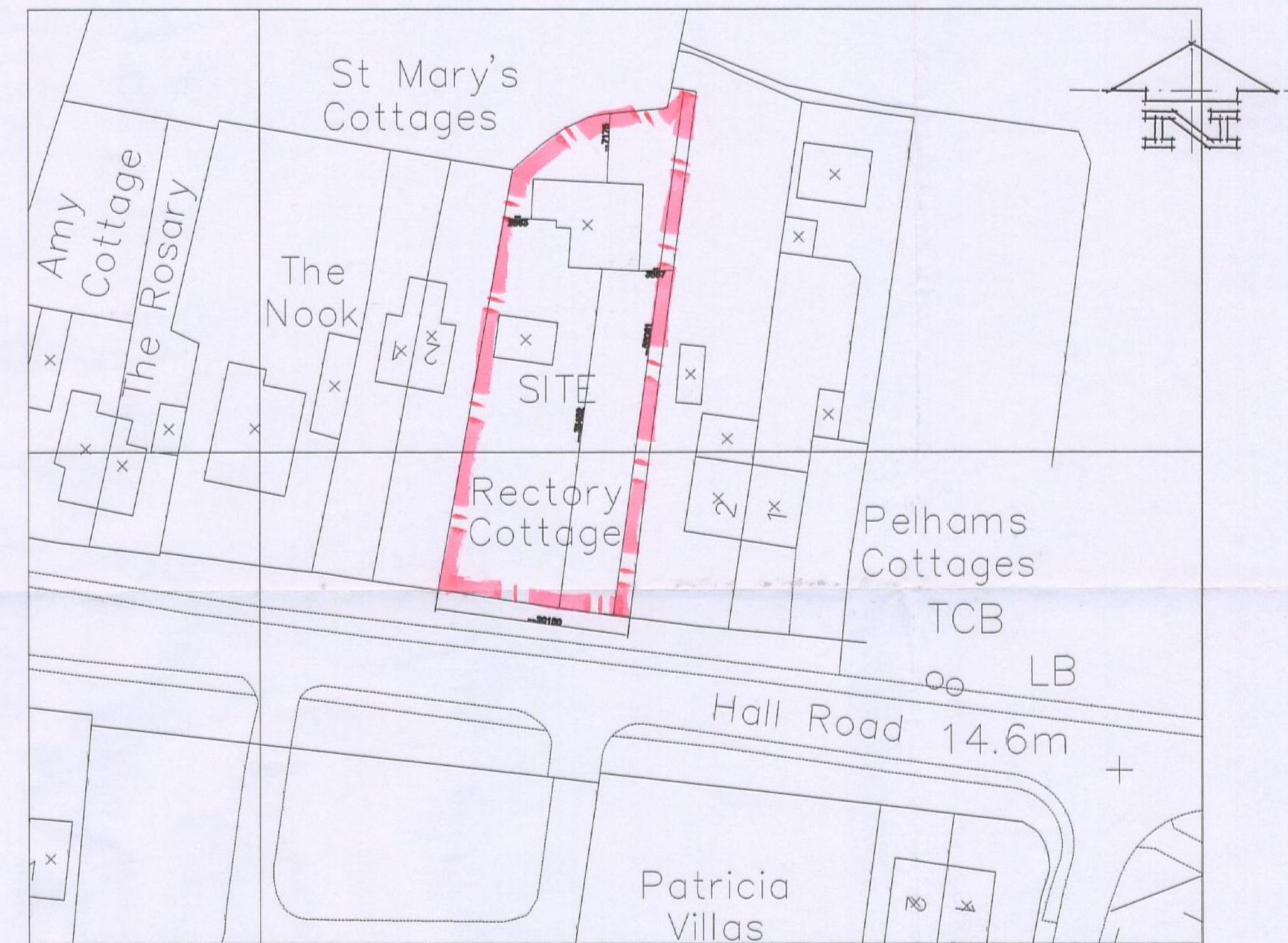
- \* REPLACE EXISTING PLASTIC BOARDING WITH NEW SW FEATHER EDGED BOARDING
- \* EXISTING TIMBER WINDOWS TO REMAIN
- \* NEW WINDOWS TO BE TIMBER
- \* NEW EXTERNAL FINISH TO EXTENSION TO BE COMPLETED WITH S&C WATERPROOF RENDERING
- \* FORM VALLEY BETWEEN NEW AND EXISTING BUILDING, WHERE NEW PITCHED ROOF FORMED WITH CODE 4 LEAD FLASHING
- \* HAND MADE CLAY PEG TILES OR SIMILAR APPROVED TO NEW ROOFS TO MATCH EXISTING



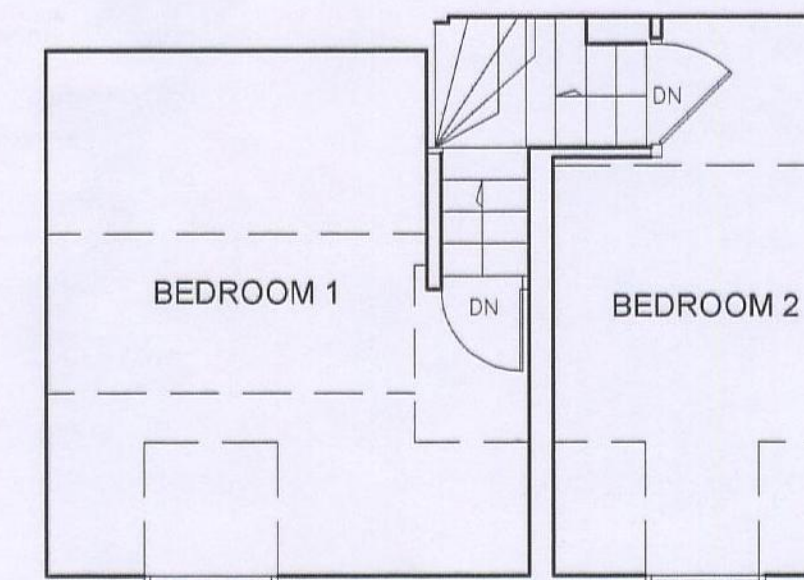
TYPICAL SECTION THROUGH



PROPOSED GROUND FLOOR PLAN



BLOCK PLAN 1:500



FIRST FLOOR PLAN TO REMAIN AS EXISTING

NOTES  
THIS DRAWING TO BE READ IN CONJUNCTION WITH THE INFORMATION PROVIDED IN THE 'DESIGN AND ACCESS STATEMENT'. PLEASE NOTE THAT RECTORY COTTAGE IS A GRADE II LISTED BUILDING. THE EXISTING REAR SINGLE STOREY EXTENSIONS WHERE COMPLETED AND APPROVED BY THE LOCAL AUTHORITY PRIOR TO THE FORMAL LISTING IN JANUARY 1988

NOTES  
This drawing must not be copied or reproduced without prior written consent of John R A Jackson.  
The drawing shall be read in strict accordance with all relevant specialists and engineers drawings together with their specifications.  
The contractor must check all dimensions on site and report any discrepancy to John R A Jackson.  
The Contractor, before commencing work on site, must clarify with John R A Jackson that the drawing he is working to is the "approved working drawing".  
The main contractor shall be responsible for the stability of existing structures and earthworks on the site and adjoining sites and shall take all necessary precautions to safeguard the structures.  
All excavations to be approved by the engineer and local authority prior to placing of any concrete.  
All trades and materials to comply with the latest B.S. and C.P. standards and local authority approvals as work is completed. All construction to conform with the latest Building Regulations and N.H.B.C requirements.  
All electrical, water and gas installations to conform to appropriate regulations and standards of Boards.  
The Client & Contractor, where necessary, shall complete any Party Wall Act Agreements with adjoining owners prior to works commencing on site.

REVISIONS

A. DRAWING AMENDED FOLLOWING PETER RICHARDS COMMENTS 10.02.10

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Title  
RECTORY COTTAGE  
HALL ROAD  
HOCKLEY  
ESSEX  
SS4 1PD

Client  
MR & MRS HEDLEY

Scales  
1:100, 1:50, 1:200  
Date  
AUG '09

John R A Jackson LLP  
Architectural Design Associates  
The Barn - Black Cottage  
Gusted Hall Lane  
Hawkeell  
Essex SS5 4JL

PROPOSED PLANS AND ELEVATIONS

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1321.02a