

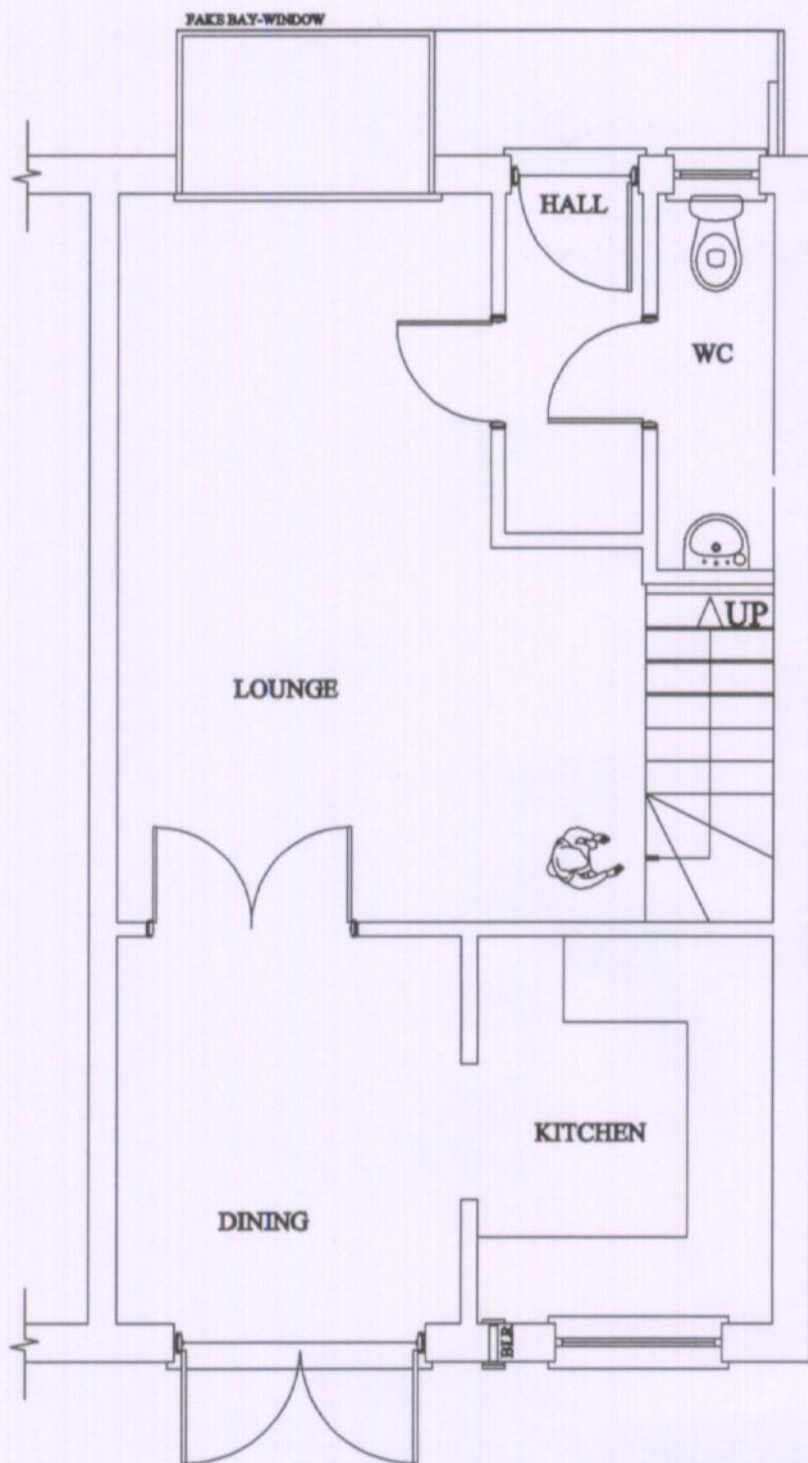
ORIGINAL PAPER SIZE - FORMAT A1.

CONSTRUCTION DESIGN & MANAGEMENT REGULATIONS 1994;

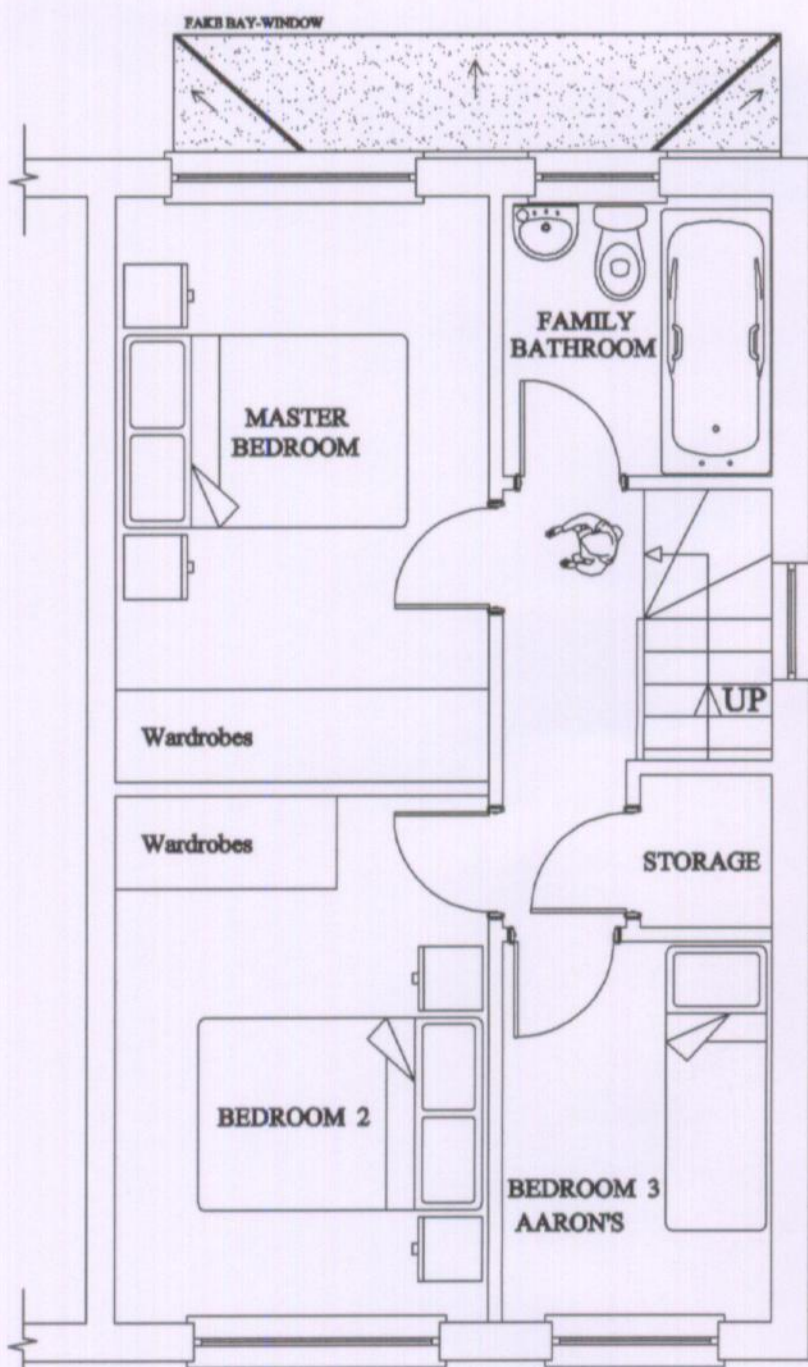
The following potential hazards must be satisfactorily addressed by both the householder and all Building Contractors to ensure the safety of the public and the workforce

1. Condition of existing building
2. Design loading of existing building
3. Condition of existing services
4. Access limitations
5. Safety in demolition
6. Safety in cutting out of structure
7. Scaffolding
8. Effect of the proposed works on adjoining buildings
9. Provision for the safe carrying out of future demolitions, maintenance & window cleaning, with the necessary incorporation of fixing eyes etc.
10. Presence of hazardous materials (e.g. asbestos, lead etc.)
11. Lifting and placing of beams and steelwork
12. Overhead / high working level
13. Dust, noise & vibration
14. Foundation and drainage excavations
15. Materials (e.g. insulation, heavy blocks, paints etc.)
16. Materials and plant storage
17. Specialist removals and applications (e.g. asbestos, timber treatments etc.)

All dimensions in millimetres (mm) unless otherwise stated.

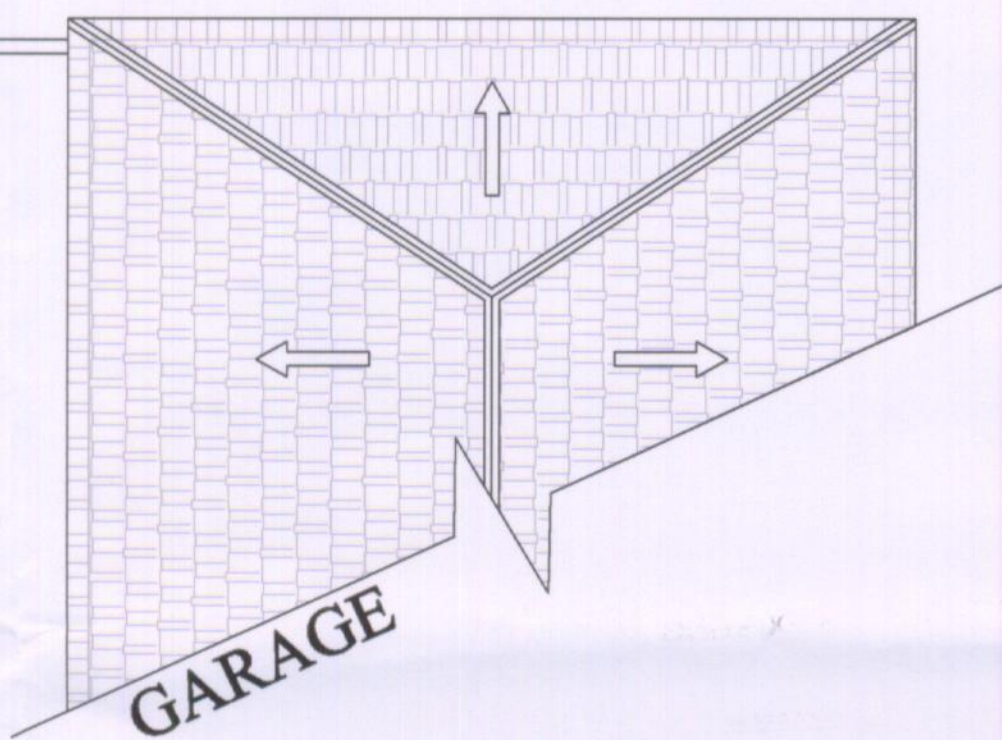
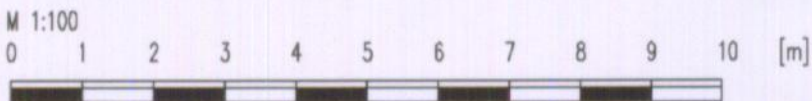


GROUND FLOOR PLAN AS EXISTING
SCALE 1/50

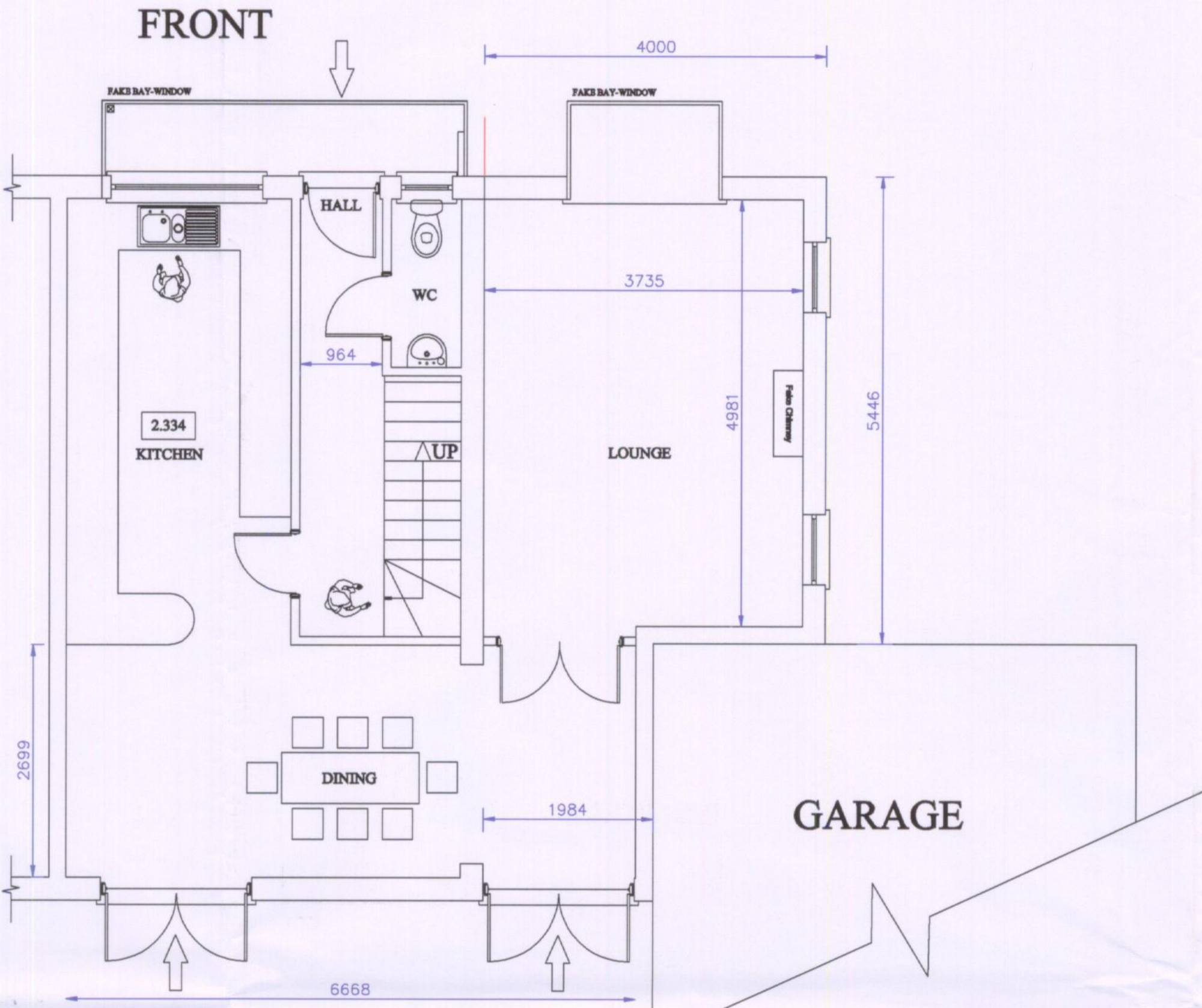
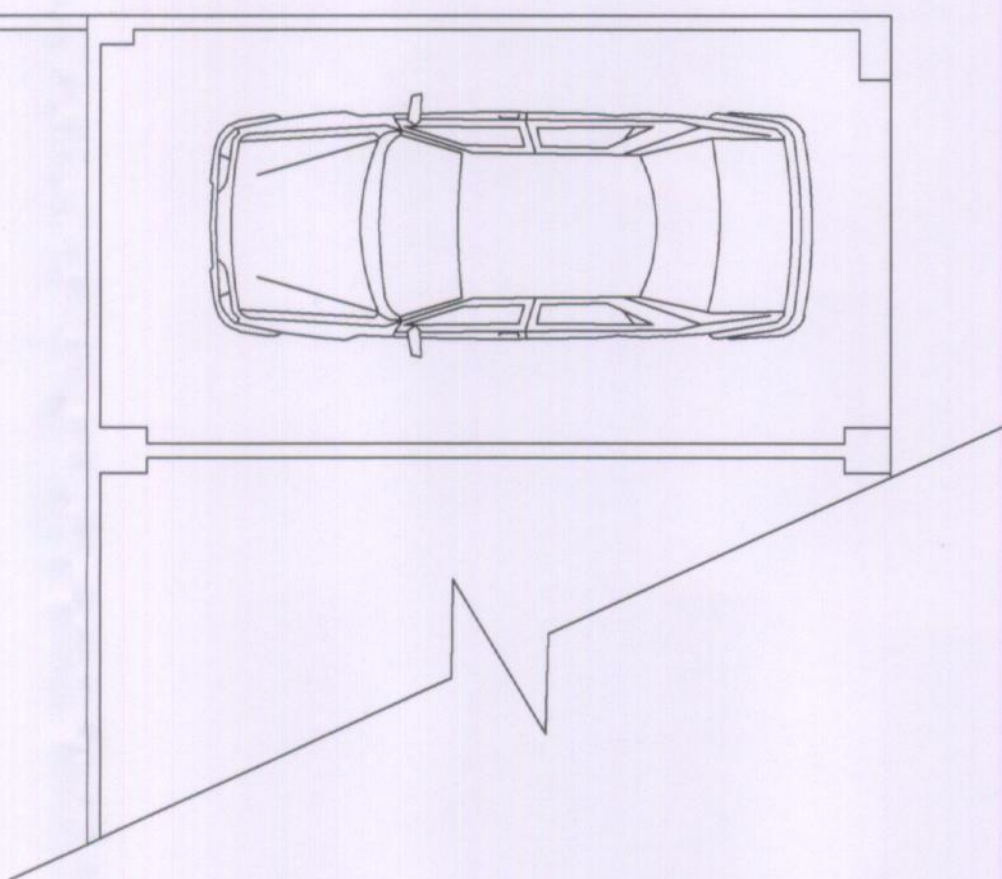


FIRST FLOOR PLAN AS EXISTING
SCALE 1/50

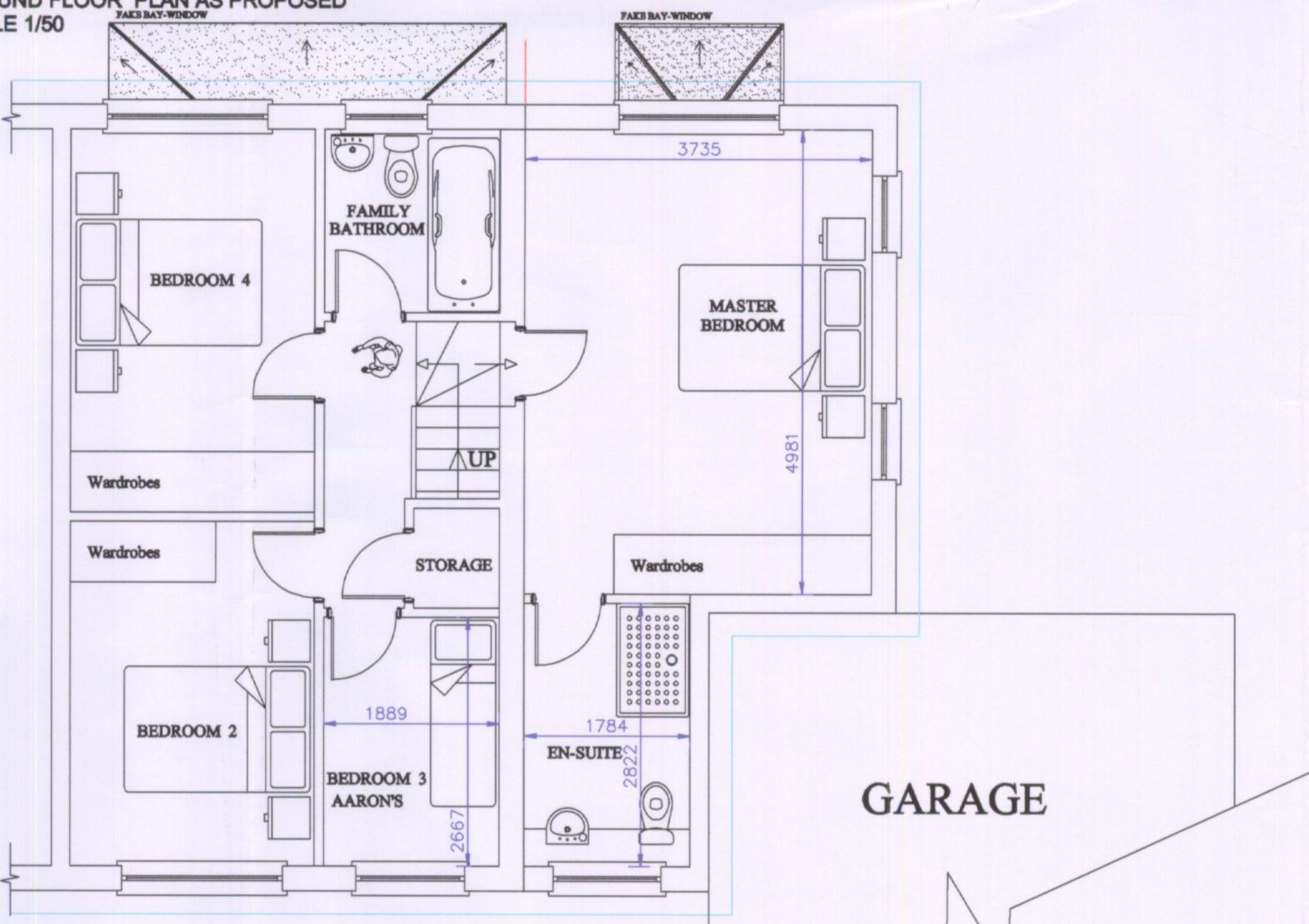
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- Do not copy from this drawing, use figured dimensions only.
- All dimensions to be checked and confirmed on site prior to commencement of works.
- The drawing must be read in conjunction with all other related drawings and documentation.
- This drawing is not to be for Land Registry purposes.
All dimensions in millimetres (mm) unless otherwise stated
e-mail: planning@betterview.co.uk



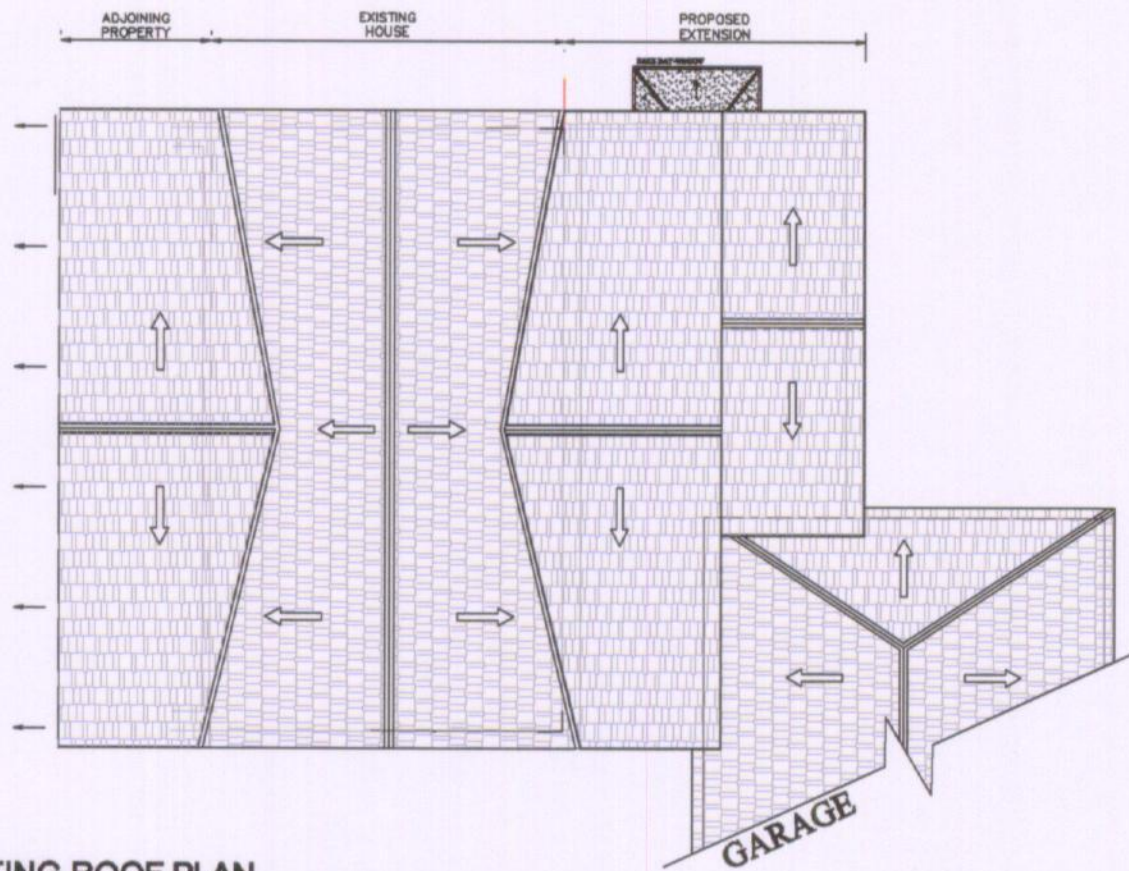
TWO STOREYS
SIDE EXTENSION



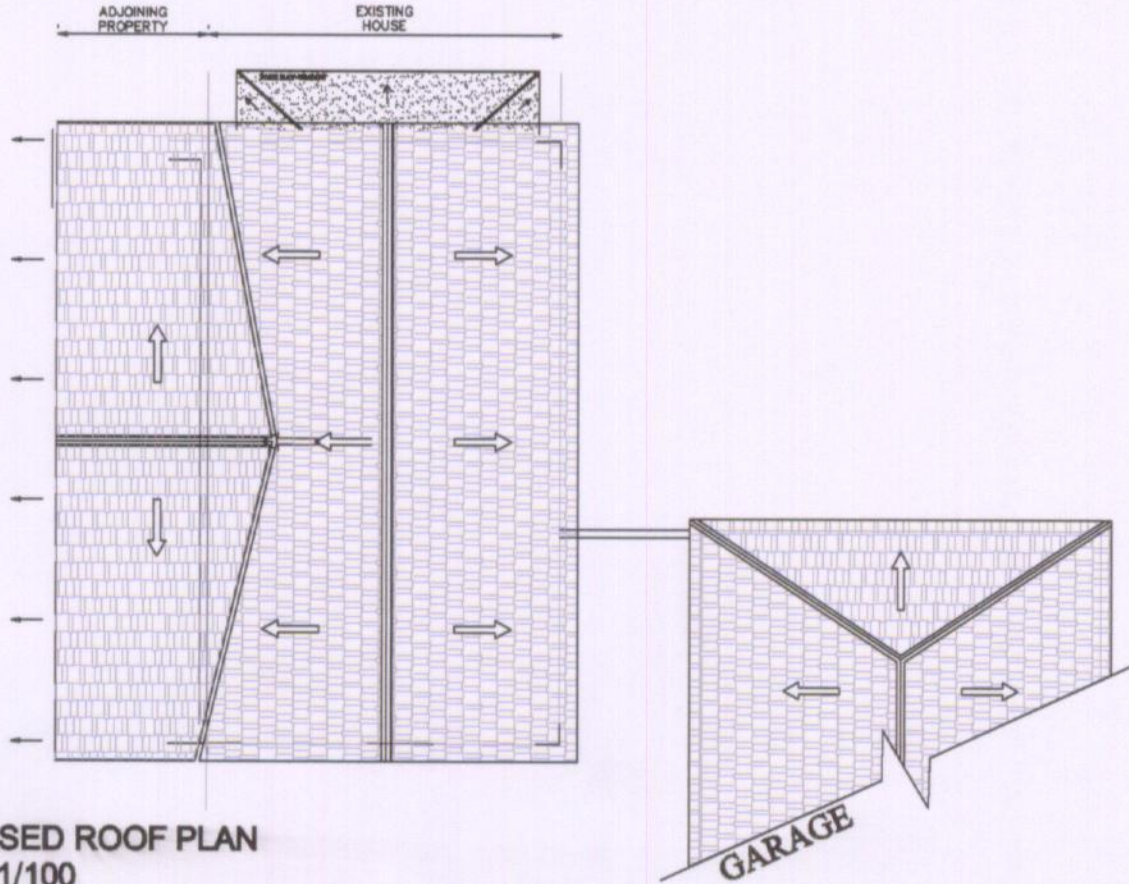
GROUND FLOOR PLAN AS PROPOSED
SCALE 1/50



FIRST FLOOR PLAN AS PROPOSED
SCALE 1/50



EXISTING ROOF PLAN
SCALE 1/100



PROPOSED ROOF PLAN
SCALE 1/100

NOTE: THIS IS NOT A TECHNICAL SPECIFICATION BUT IS SOLELY FOR THE PURPOSE OF OBTAINING LOCAL AUTHORITY PLANNING PERMISSION

NOTES

GENERAL CONSTRUCTION:

- COLOUR: To match existing & adjoining properties.
WALLS: To match existing property.
JOINERY: All to match existing property.
GLAZING: All glazing to be installed in uPVC frames. All glazing is to comply with BS6262. Glass is to comply with BS952. Safety glass to comply with BS6206. Safe breakage glass as defined in BS6206 to be installed in all "Critical Locations" as defined in the Building Regulations Part N Section 1. The following locations are "Critical in terms of safety":
Where glazing is located between finished floor / ground level & 800mm above finished floor / ground level in internal & external walls and partitions.
Where glazing is located between finished floor / ground level & 1500mm above finished floor / ground level in a door or side panel, next to either edge of the door.
- Windows first floor side elevations to be obscured glazed if necessary.
ROOF: To match existing roof.
EXTRA: Local authority to be aware that current owner of the property No15 bought a piece of land on the left side of the property.

PLANNING DRWGS

Betterview
Building Division
Extensions - New Homes Conservatory - Orangeries Porch / Loft & Garage Conversions

ESSEX OFFICE:
Russell Gardens
Wickford, Essex SS11 8BF
Tel: (01268) 570045
Fax: (01268) 575655

KENT OFFICE:
408 Vale Road,
Tonbridge, Kent TN11 1SW
Tel: (01732) 369000
Fax: (01732) 369009

CLIENT:	Mr & Mrs STEVENS
ADD:	15 Brunswick Place, Rayleigh, Essex, SS69GB.
PROPOSAL:	G.Floor & F.Floor Side extension and minor works
TITLE:	PLANNING DRAWING
DRN	GF
CHK	BN
DATE	25.01.2010
REF.	----
DRAWING NO.	6368.02
SCALE	As shown
ISSUE	01