

CONTENTS

		INTRODUCTION	
1.00	Introduction and Site Context		2
2.00	Planning History		5
		DESIGN STATEMENT	
3.00	The Design Process		7
4.00	Use		7
5.00	Amount		7
6.00	Layout		7
7.00	Scale		7
8.00	Landscaping		8
9.00	Appearance		8
10.00	Sustainability		8
		ACCESS STATEMENT	
11.00	Transport Links		10
12.00	Inclusive Access		10
		CONCLUSION	
13.00	Conclusion		12
		APPENDICES	
A	280.200- Proposed Floor Plans, Elevations + Street-scenes.		
B	280.201- Proposed Site Plan + Site-section.		
C	280.202- Site Location Plan.		

INTRODUCTION

PROJECT: Proposed 4 Bedroom detached dwelling house.
SITE ADDRESS: 3 Sunny Road, Hockley, Essex.

1.00

INTRODUCTION & SITE CONTEXT

1.01 Site Address: **3 Sunny Road,**
Hockley,
Essex. SS5 4NZ.

Client: **Hale Eco.**

1.02 **Third Dimension Architectural and Interior Design** have been appointed by 'Hale Eco' to complete the following 'Design & Access Statement' relating to the full planning application for the proposed development of a replacement 4 bedroom detached property with associated off street parking, on the site of 3 Sunny Road, Hockley, Essex. This statement is to be submitted as part of a formal application and is to be read in conjunction with all architectural drawings.

1.03 The proposed development land is a Brownfield site currently occupied by an existing residential dwelling bungalow. The site is easily accessible with good local transport links.

1.04 The application site is within an existing built up residential area, situated on Sunny Road, accessed by The Westerings. The neighbouring properties are of mixed scale and appearance. Large detached houses back onto the proposal site from the North, shown in image 1.2, and a single-storey bungalow is bound to the South, shown in image 1.3. Sunny road further consists of a mixture of bungalows and two-storey houses, shown in images 1.4 and 1.5.



IMAGE 1.1: Aerial View (from Google Earth).



IMAGE 1.2: Existing bungalow, looking North.



IMAGE 1.3: No.5 Sunny Road, neighbouring property.



IMAGE 1.4: Property situated opposite proposal site.



IMAGE 1.5: Sunny Road, looking South.

2.00

PLANNING HISTORY

- 2.01 There have been no applications found on Rochford District Council Public Access website relating to the site.

DESIGN STATEMENT

PROJECT: Proposed 4 Bedroom detached dwelling house.
SITE ADDRESS: 3 Sunny Road, Hockley, Essex.

3.00

THE DESIGN PROCESS

- 3.01 The design proposals have undergone an experiential design process technique with constant cycle of assessment, involvement, evaluation and design. The main purpose for this proposal is to maximise the site development potential whilst causing minimal impact upon the neighbouring properties.
- 3.02 Following informal discussions with Mr. Robert Davies, Rochford District Council; the proposal received positive feedback. The only concern being the proposed ridge height which has since been reduced to a more suitable height.
- 3.03 The client is committed to producing a high quality, sustainable, energy-efficient dwelling and as such the design has incorporated these aspirations through construction methods and renewable technologies, to encourage a modern, low-carbon lifestyle.

4.00

USE

- 4.01 The thrust of national and local policy encourages efficient use of previously developed land within sustainable, built-up areas such as this. In land use terms this site represents an opportunity to provide a quality residential development appropriate to neighbouring properties and the wider context.
- 4.02 The site is currently occupied by No.3 Sunny Road, an existing single-storey bungalow. The proposal consists of a replacement 4 bedroom dwelling with an internal garage, private driveway with new crossover and paved frontage capable of accommodating 2 vehicles.

5.00

AMOUNT

- 5.01 The proposed development is for a 4 bedroom detached dwelling (GIA 165.5m²) with 264m² of rear amenity area and space for 3 vehicles. The total site area equates to 440m².

6.00

LAYOUT

Please refer to Drawing '280.200- Proposed Floor Plans, Elevations + Street-scenes.'

- 6.01 The application proposes a detached four bedroom dwelling. The dwelling provides a set back street frontage, in-keeping with the neighbouring area, with an access driveway direct from Sunny Road.
- 6.02 The chalet style dwelling has been designed to minimise the proposed ridge level and overall scale. This defines the majority of the first floor to be set within the roof space.
- 6.03 The kitchen, breakfast and living areas have all been located to the rear of the proposed dwelling to allow them to directly access the rear amenity garden. This design allows for the rear patio to be incorporated as an extended usable space.

7.00

SCALE

- 7.01 All attempts have been made to create a sympathetic development that is in-keeping with the scale and massing of neighbouring properties. The proposed

chalet style design allows the dwelling a lower ridge level. Therefore provides a suitable transition between No.5 Sunny road and the large detached dwellings backing onto the site from the North, whilst still allowing a relatively spacious 4 bedroom family house within.

8.00

LANDSCAPING

Please refer to Drawing '280.201- Proposed Site Plan + Site-section.'

8.01 The scheme allows for areas of both hard and soft landscaping, details of which will be submitted for the council's approval as part of a condition to the full application approval. The proposed Site Plan, drawing: '280.201- Proposed Site Plan + Site-section,' shows an indicative design layout that allows for permeable hard landscaped driveway, paths and rear patio area, in block paving with brick feature edging.

8.02 This paved area will continue to the rear of the proposed dwelling, whereby it steps down onto a large area of lawn to be used for amenity purposes.

The area of block paved patio area to the rear would allow flush transition between the inside living area and the outside space, The rear garden area equates to 264m², providing a good size amenity area for the property.

9.00

APPEARANCE

9.01 The design has incorporated traditional forms and concepts. The pitched main roof helps blend the property into the street scene, helping to lower the proposed ridge height whilst also mirroring neighbouring properties with clay tiled roof.

9.02 To keep the proposed ridge height at a suitable level, there is an area of flat roof at the centre of the building. This area has been used to its advantage, whereby a flat roof window has been placed to allow natural light into the staircase and first floor landing and remaining flat roof space is to be utilised for renewable energy and/or low zero carbon technologies. Both of these will be out of sight from public view, whilst still being accessible for maintenance from the first floor.

9.03 The materials palette comprises of: red face brickwork plinth to compliment neighbouring properties, off-white render to compliment No.5 Sunny Road, fibre cement boarding, white u-PVC windows and rainwater goods, clay tiled roof and GRP lead coloured dormers and window surrounds.

10.00

SUSTAINABILITY

10.01 The Essex Design Guide promotes commitment to improving the quality and sustainability of all developments. The proposal will seek to adhere to this guidance.

10.02 The applicant recognises the need for sustainable construction and development, and in order to comply with local and national guidance will aim to achieve a minimum equivalent of Code for Sustainable Homes, Level 3 rating. This will be achieved using a highly insulated building fabric, air-tight construction and efficient heating systems. The heating will be provided by 300% air-source heat pump + solar panels with highly insulated hot water cylinder. The building fabric u-values will better Building Regulations ADL1A by a minimum of 25%. We are looking at using insulated concrete formwork (ICF) wall construction and structurally insulated panels for the roof construction. This will create an environmentally responsive, air-tight building.

ACCESS STATEMENT

PROJECT: Proposed 4 Bedroom detached dwelling house.
SITE ADDRESS: 3 Sunny Road, Hockley, Essex.

11.00

TRANSPORT LINKS

- 11.01 The site is as previously outlined, located within a sustainable location and close to local amenities and transport links making the site easily accessible by various modes of transport both public and private.

12.00

INCLUSIVE ACCESS

- 12.01 Planning policy provides guidance on promoting accessibility. It states that new developments should be designed to make provisions for both people and goods by all forms of transport. It also promotes high standards of road safety within the surrounding area.
- 12.02 The main entrance door is to have mobility flush thresholds and ramps not exceeding 1:12 in accordance with building regulations approved document Part M. Rear access to the garden space will also be flush to enable all users to enjoy the outside space.

CONCLUSION

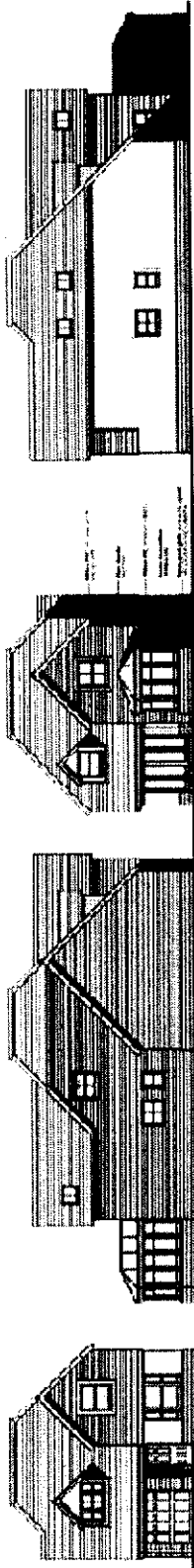
PROJECT: Proposed 4 Bedroom detached dwelling house.
SITE ADDRESS: 3 Sunny Road, Hockley, Essex.

- 13.01 The proposed residential development has been designed to make optimum use of this Brownfield site without causing major visual impact upon the neighbouring properties. It is in keeping with the scale and massing of the surrounding area and the aesthetical quality of the street scene will be enhanced whilst using a selected material pallet complementary to its environment.
- 13.02 The proposal provides a high standard of living, offering a large area of secure private amenity space and variation in internal space to accommodate a growing family. The dwelling incorporates large communal spaces for family activities with additional study areas.
- 13.03 Following all points outlined during this document and those highlighted during pre-consultation, it is believed that no detrimental effect will be created by the development and it is hoped the local authority will be feel able to support this application.

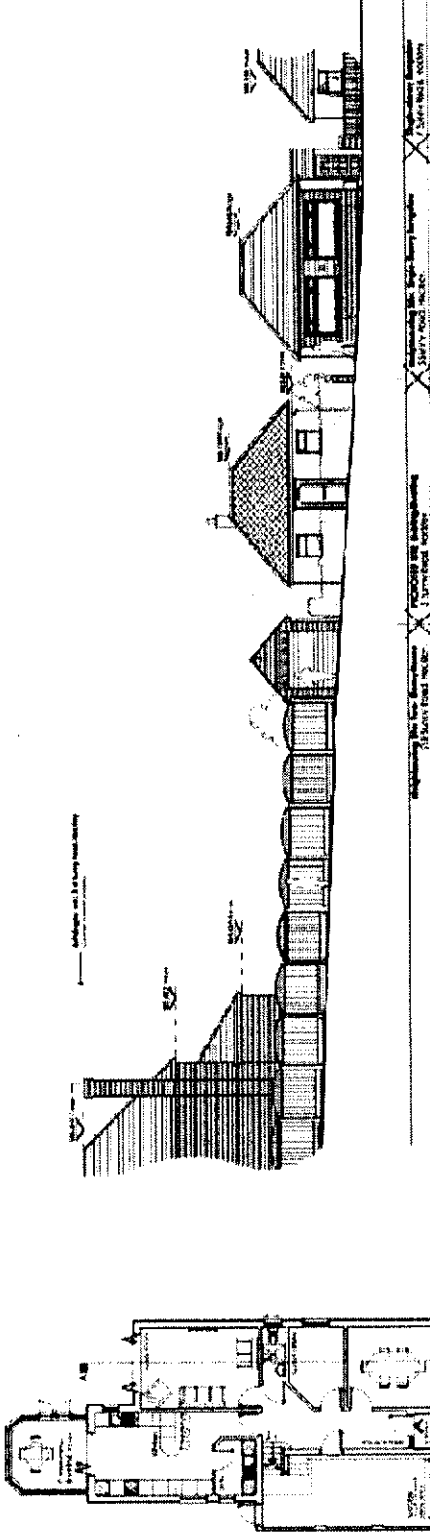
A.

280.200- PROPOSED FLOOR PLANS, ELEVATIONS + STREET-SCENES

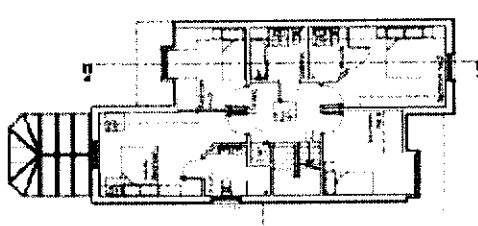
PROJECT: Proposed 4 Bedroom detached dwelling house.
SITE ADDRESS: 3 Sunny Road, Hockley, Essex.



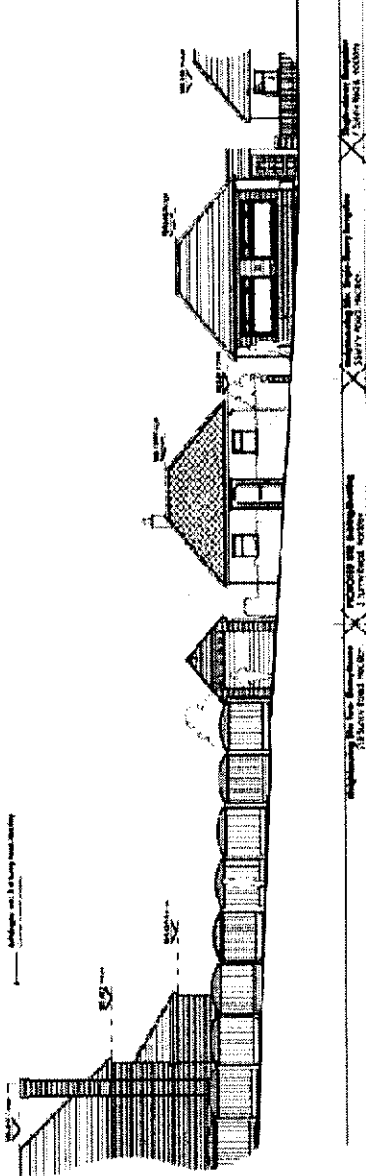
PROPOSED FRONT ELEVATION Scale 1:50
 PROPOSED SIDE ELEVATION: South-East Scale 1:40
 PROPOSED REAR ELEVATION Scale 1:50
 PROPOSED SIDE ELEVATION: North-West Scale 1:50



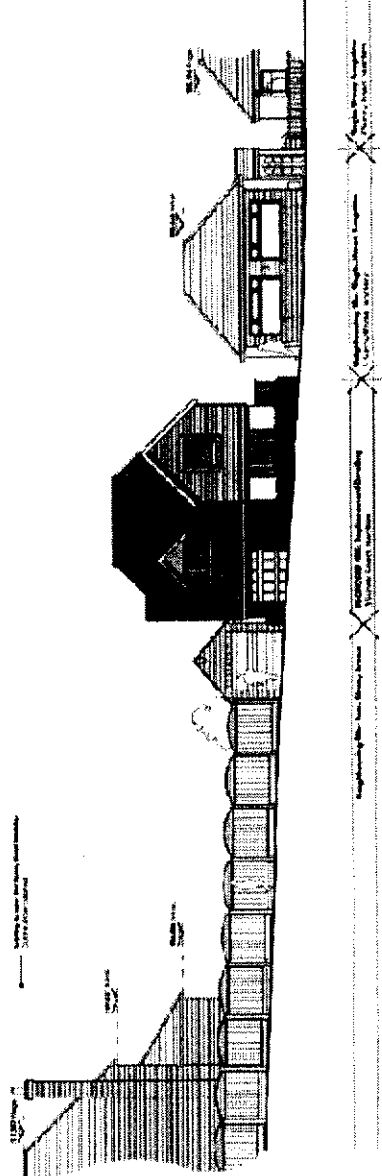
PROPOSED GROUND FLOOR PLAN Scale 1:50



PROPOSED FIRST FLOOR PLAN Scale 1:50



EXISTING STREET-SCENE: Street-scene from Sunny Road. Scale 1:50



PROPOSED STREET-SCENE: Street-scene from Sunny Road. Scale 1:50

REPLACEMENT DWELING

THIRD DIMENSION

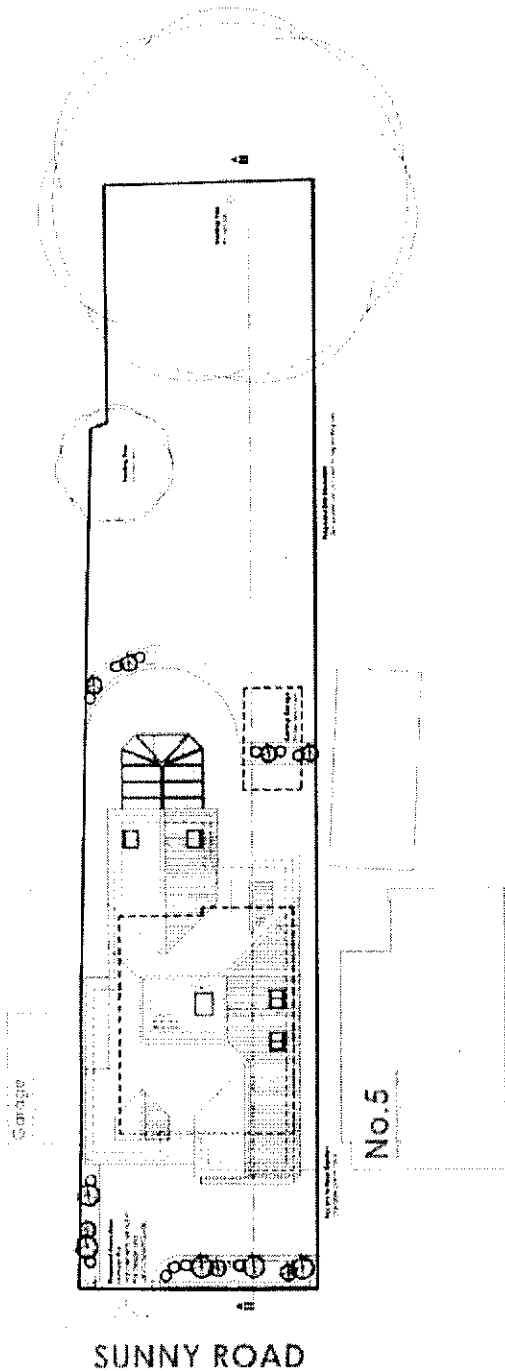
200

B.

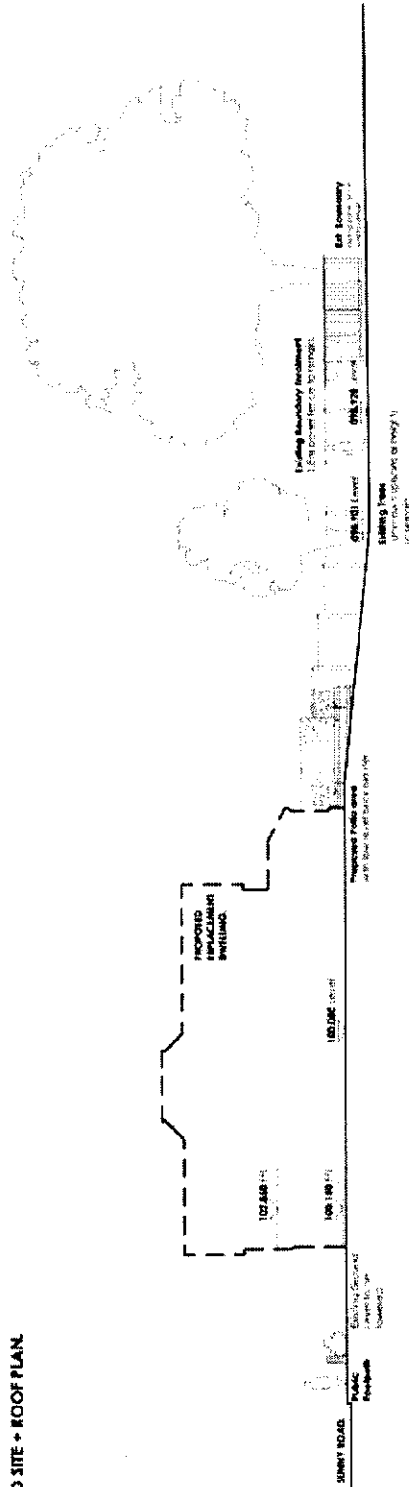
280.201- PROPOSED SITE PLAN + SITE-SECTION

PROJECT: Proposed 4 Bedroom detached dwelling house.
SITE ADDRESS: 3 Sunny Road, Hockley, Essex.

3 SUNNY ROAD, HOCKLEY, ESSEX



PROPOSED SITE + ROOF PLAN
Scale 1:100



PROPOSED SITE SECTION A-A
Scale 1:100

REPLACEMENT DWELLING.

THIRD DIMENSION

201

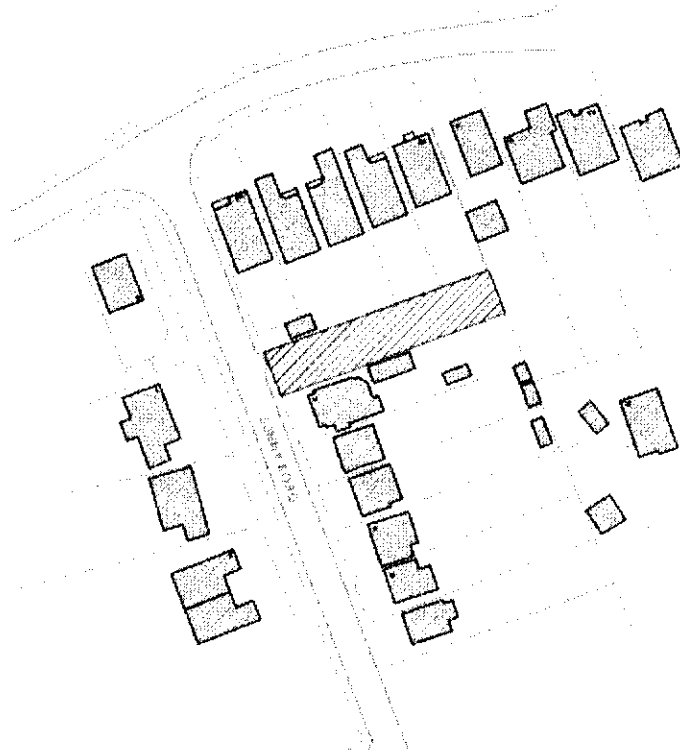
ADDRESS: 3 SUNNY ROAD, HOCKLEY, ESSEX.
CLIENT: HALE ECO.

C.

280.202- SITE LOCATION PLAN

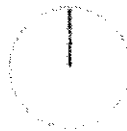
PROJECT: Proposed 4 Bedroom detached dwelling house.
SITE ADDRESS: 3 Sunny Road, Hockley, Essex.

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SITE LOCATION PLAN.

Scale 1:1250



REPLACEMENT DWELLING.

of Sunny Road
Hockley
Essex
SS16 5LQ
Site Ref: 04/01/01



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