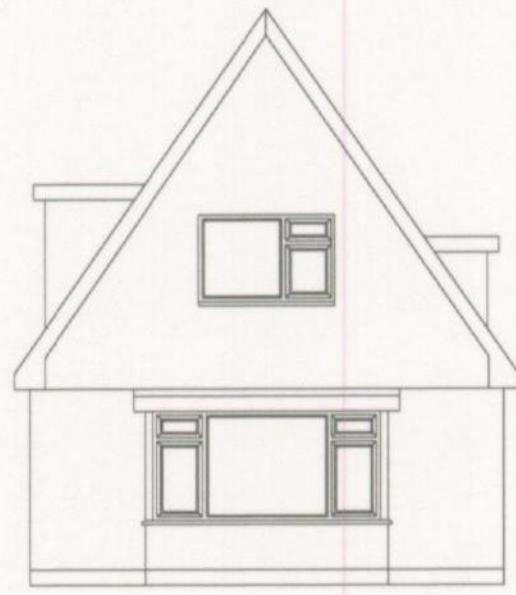


All vertical walls to 'Dormas' on first floor to be rendered  
 All brickwork to match existing  
 All roofs tile to match existing



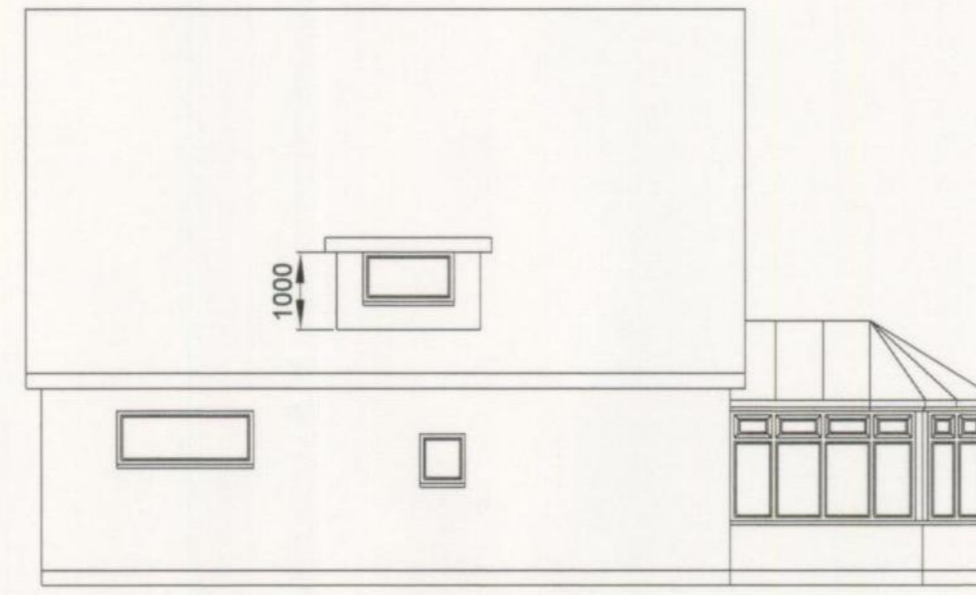
EXISTING FRONT ELEVATION ( 1:100 )



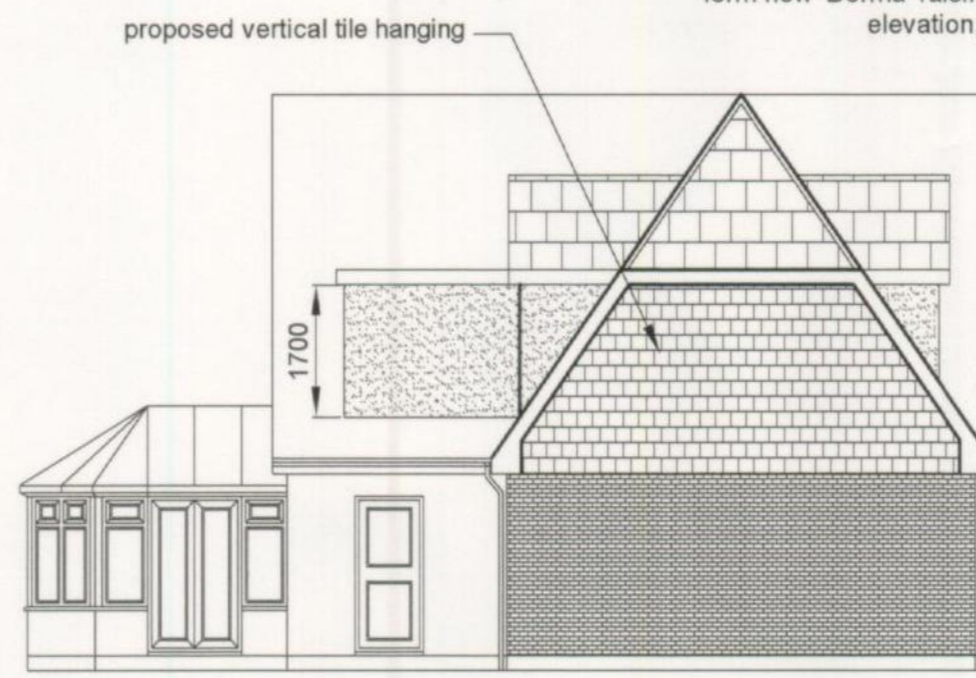
EXISTING REAR ELEVATION ( 1:100 )



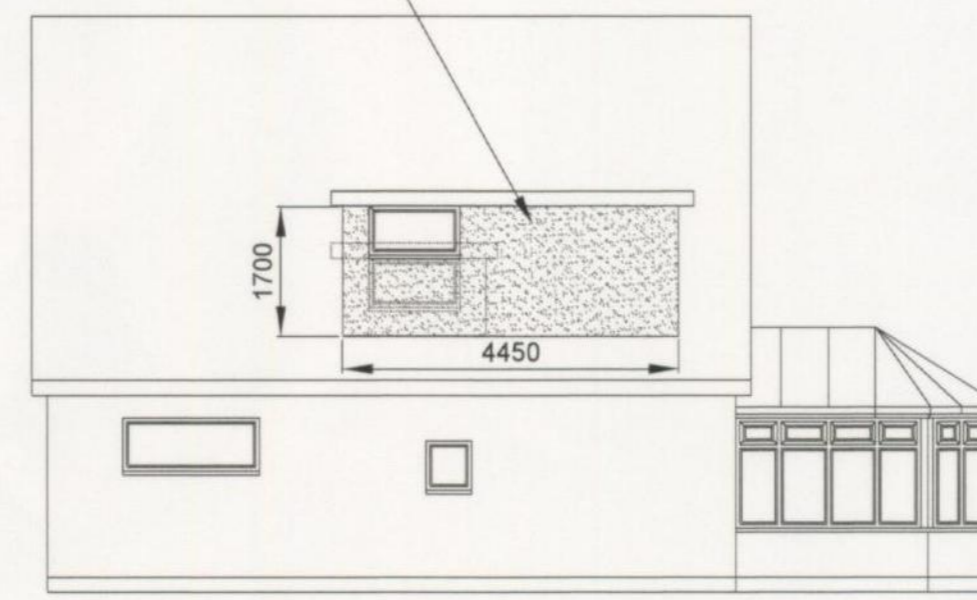
EXISTING SIDE ELEVATION ( 1:100 )



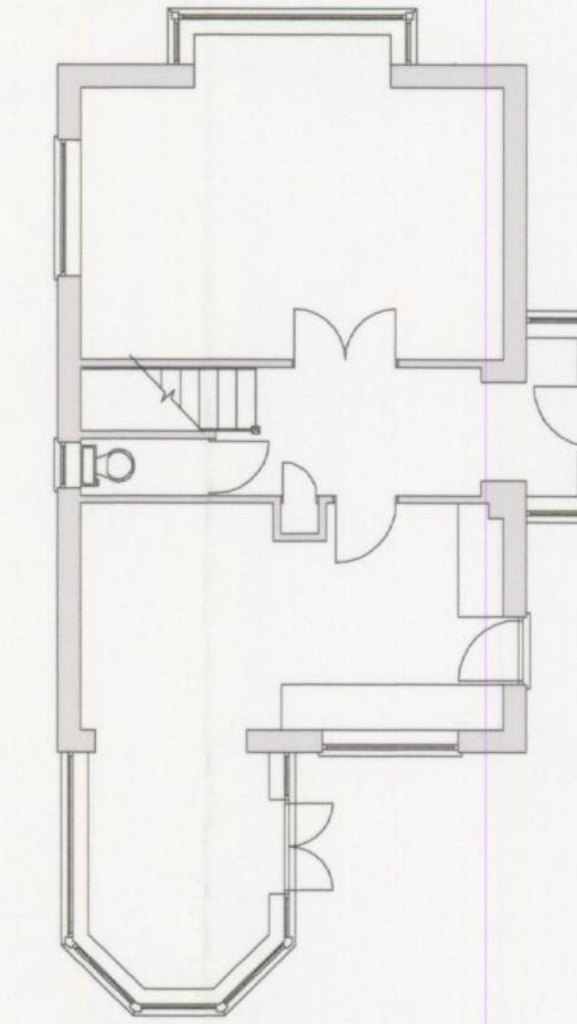
EXISTING SIDE ELEVATION ( 1:100 )



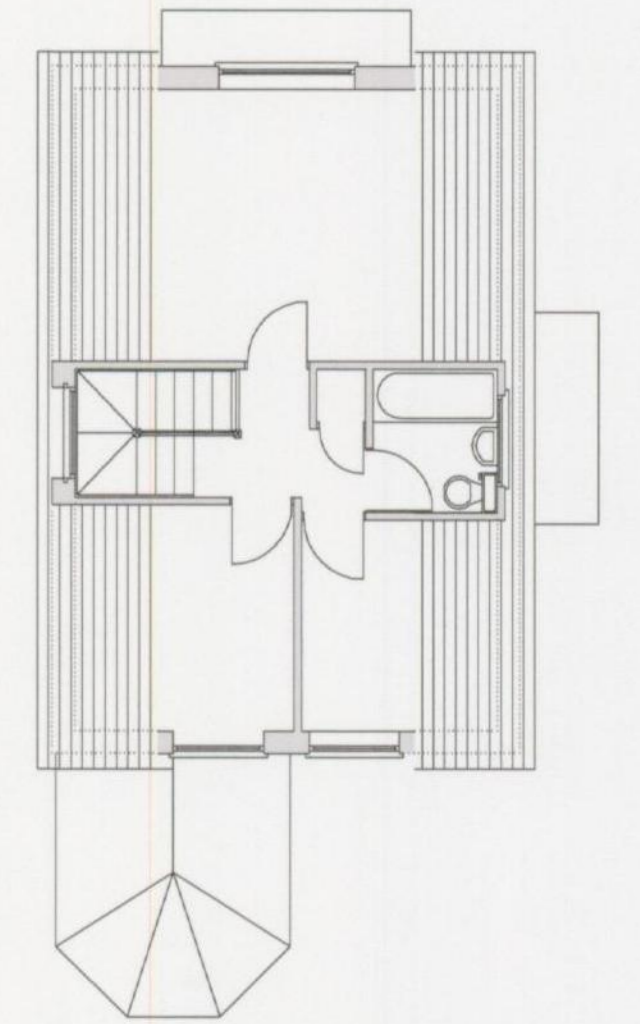
PROPOSED SIDE ELEVATION ( 1:100 )



PROPOSED SIDE ELEVATION ( 1:100 )



EXISTING GROUND FLOOR PLAN ( 1:100 )



EXISTING FIRST FLOOR PLAN ( 1:100 )



PROPOSED FRONT ELEVATION ( 1:100 )



PROPOSED REAR ELEVATION ( 1:100 )

**PLUMBING:**  
 All plumbing to BS. 5572 1978, (where pipes pass through walls refer to B-regs H1-A10. 38mm pipework for baths and showers with sufficient rodding eyes leading into 110mm surface toilet waste. all other pipework in 30mm again with sufficient rodding eyes. all sanitary ware to have 75mm deep appropriate traps.

**NOTES:**  
**Dimensions:** All dimensions must be checked prior to and as work proceeds throughout the contract durations, all dimensions may not be a true accuracy of the actual sizes on site.  
**Copyright:** These drawings are solely owned by Senna Design, they cannot be altered or used by any unauthorized person.  
**Party wall act:** You are required under the party wall act to give adjoining owner advance notification of works proposed, the start date where work falls on or near the boundary.  
**Contractors:** All contractors may be required to allow variations of the enclosed drawing should the local Building control officer see appropriate.

( \* ) fd ( indicates half hour self closing fire door, with intrinsant strips to both sides and top of door )  
 Studwork: 100mm x 50mm studwork max 400mm centres, mid span strutting, insulated as required, 12.5mm plasterboarding with two coat plaster skim finish

**ELECTRICAL INSTALLATION:**  
 All electrical installation must be carried out in accordance with 'P' compliance either,  
 1) Using the competent person scheme  
 2) An electrician is registered with either of the following:  
 NICE & NAPIT, tests the work and issues a design, installation and test certificate under BS 7671

**PLUMBING:**  
 All work involving 'Gas' can only be carried out by 'Corgi' registered plumber, all other work in accordance to good plumbing practice.

**FIRST FLOOR WINDOWS:**  
 All windows in habitable rooms on the first floor must have fully opening 'Fire hinges', for means of escape.

**WINDOWS:**  
 All windows and doors to be U.P.V.C double glazed using 16mm cavity 'K' type sealed units to match existing, with min 8000mm<sup>2</sup> ventilators within the window, to achieve max U-Value of 2.0 w/m<sup>2</sup>. All installed under 'FENCA' approved contractor.  
 Glazed doors and adjacent windows within 300mm of door to have safety glass up to a min of 1500mm from FFL, all glazing within 800mm of FFL also to have safety glass, all in accordance to BS 6206 class 'C'

( FJ ) Indicates flexible joint profiles where new work butts against existing using 'Furfix' profiles or similar, fixed in accordance with manufacturers details.

**SENNA DESIGN**  
 ALL ASPECTS OF DESIGN  
 CONSULTANCY WITHIN  
 THE BUILDING INDUSTRY  
 31, STATION CRESCENT,  
 RAYLEIGH ESSEX SS6 8AT  
 01268 775194 07879 444341

Notes:

**Client & Address:**  
 MR CLARKE, 1 NEVERN CLOSE, RAYLEIGH ESSEX SS6 7PQ

**Proposals:** TWO STOREY SIDE EXTENSION WITH DORMA ADDED TO OTHER ELEVATION

**Drawing Title**

**Scale & Date**  
 1:50, 1:100, 1:200, MAY 06

**Drawing Number**  
 3257 / 06 / 121

**Planning approval reference**

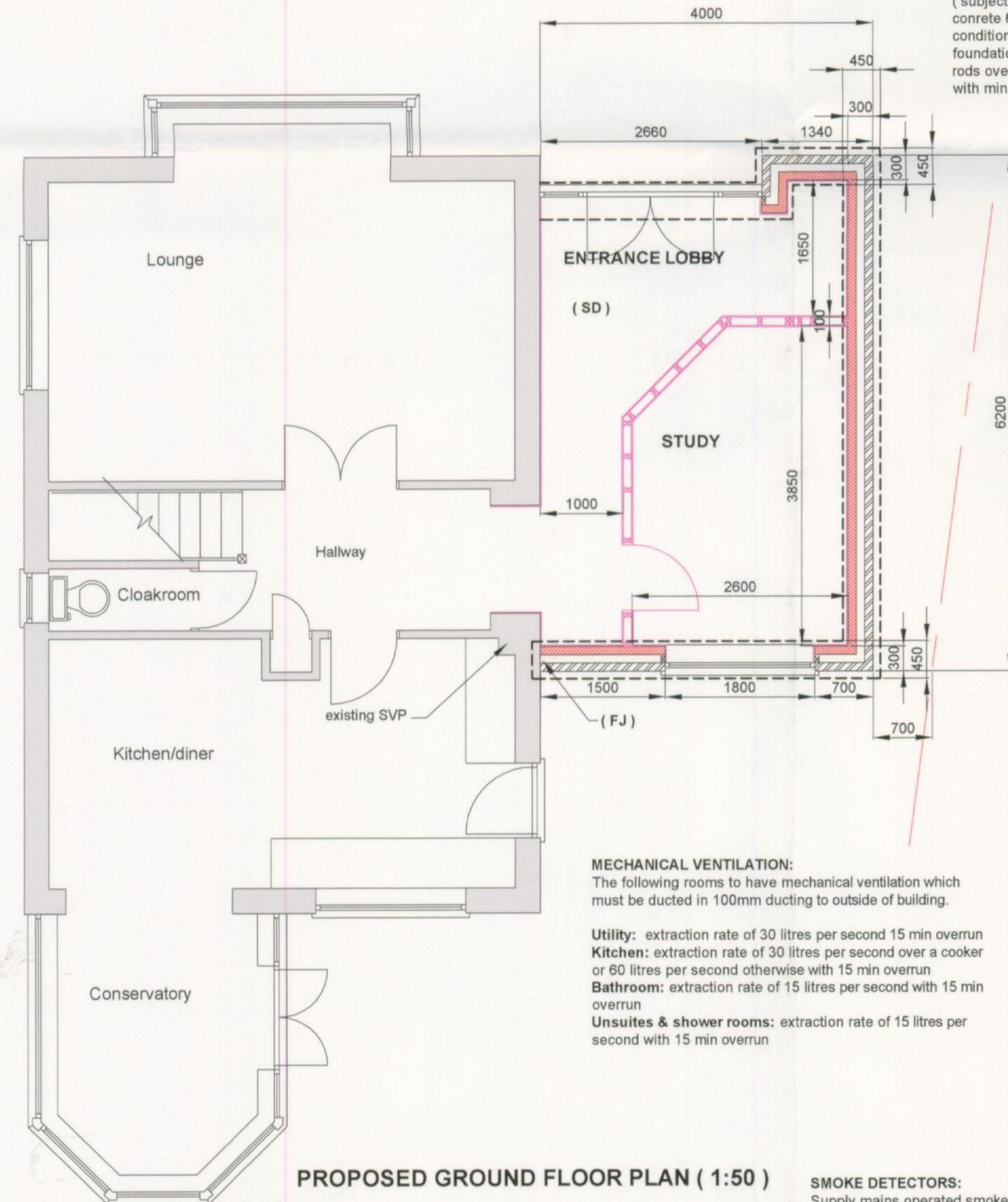
**FOUNDATIONS:**  
 Foundations min 1200mm below ground level, (subject to Building Inspectors approval), infill concrete 6:2:1 or approved to suite ground conditions, all drains passing through foundations to have 3no: 12mm reinforcing rods over, 25mm flexible seal surrounding pipe, with min 225mm concrete under pipework.

**CAVITY WALL DETAILS:**  
 100mm external brickwork to match existing, 75mm dri them cavity batts, 100mm internal 'Celcon' insulation blocks. cavity ties 450mm centres vertically staggered, 225mm centres vertically to reveals, ie door and window openings etc. 'Knauf' polyfoam cavity closers to all reveals to either side and bottom for windows, and either side for doors. Where new walls butt to existing using stainless steel 'furfix' profiles or similar

**R.W.P.**  
 All proposed gutters and downpipes to run into new soakaway shown on location plan. style and colour to match existing

**SOAKAWAY:**  
 Soakaway should be a min 6mtrs from building, 1.5cubic metre excavation filled with hardcore. rwp leading into 110mm underground pipework

**DORMA DETAIL:**  
 all 'Dorma' walls built in 100x47mm studwork, at max 400mm centres, bottom and top plates with mid span strutting, all exposed walling to have 100mm 'Celitex' or similar insulation with 12mm exterior ply, waterproof vapier barrier, cladded to clients choice or to match existing



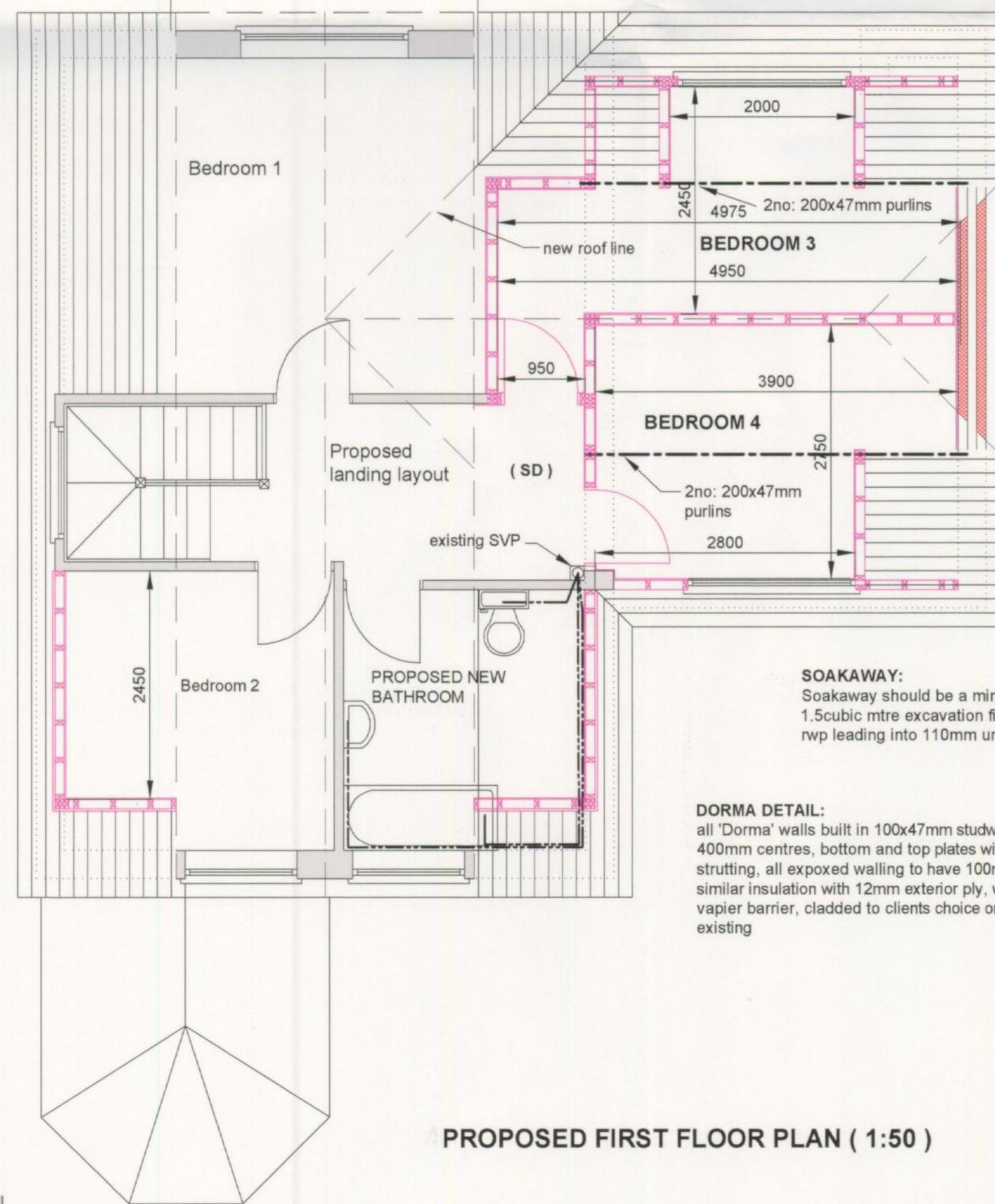
PROPOSED GROUND FLOOR PLAN ( 1:50 )

**MECHANICAL VENTILATION:**  
 The following rooms to have mechanical ventilation which must be ducted in 100mm ducting to outside of building.

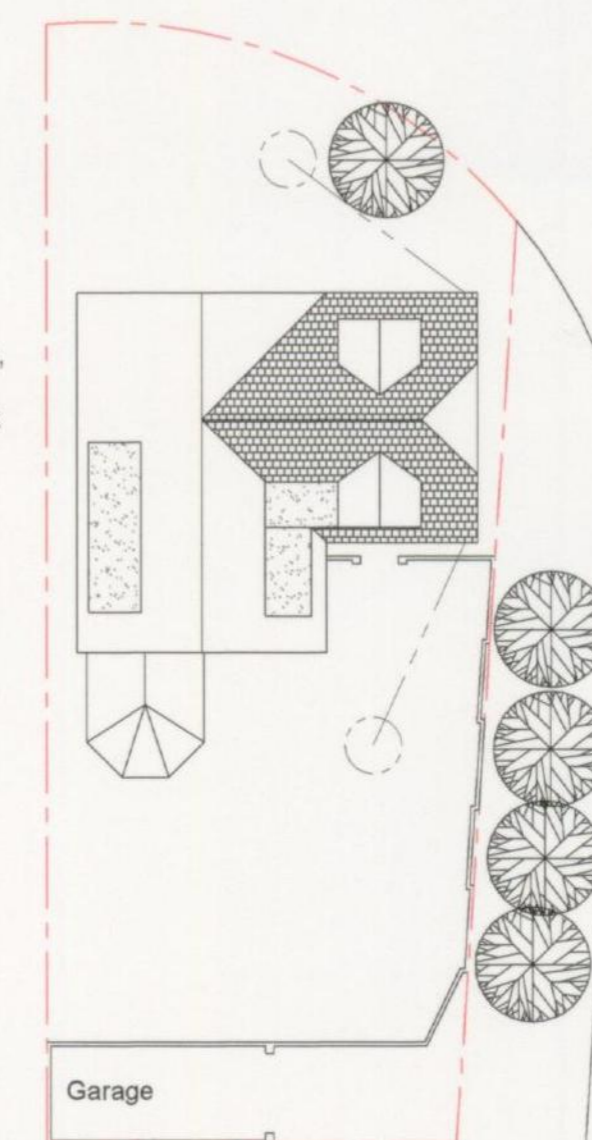
**Utility:** extraction rate of 30 litres per second 15 min overrun  
**Kitchen:** extraction rate of 30 litres per second over a cooker or 60 litres per second otherwise with 15 min overrun  
**Bathroom:** extraction rate of 15 litres per second with 15 min overrun  
**Unsuites & shower rooms:** extraction rate of 15 litres per second with 15 min overrun

**SMOKE DETECTORS:**  
 Supply mains operated smoke detectors on all floors on separate supply back to the mains, all to BS 5446 pt 1

indicated: ( SD )



PROPOSED FIRST FLOOR PLAN ( 1:50 )



SITE LOCATION PLAN ( 1:200 )