

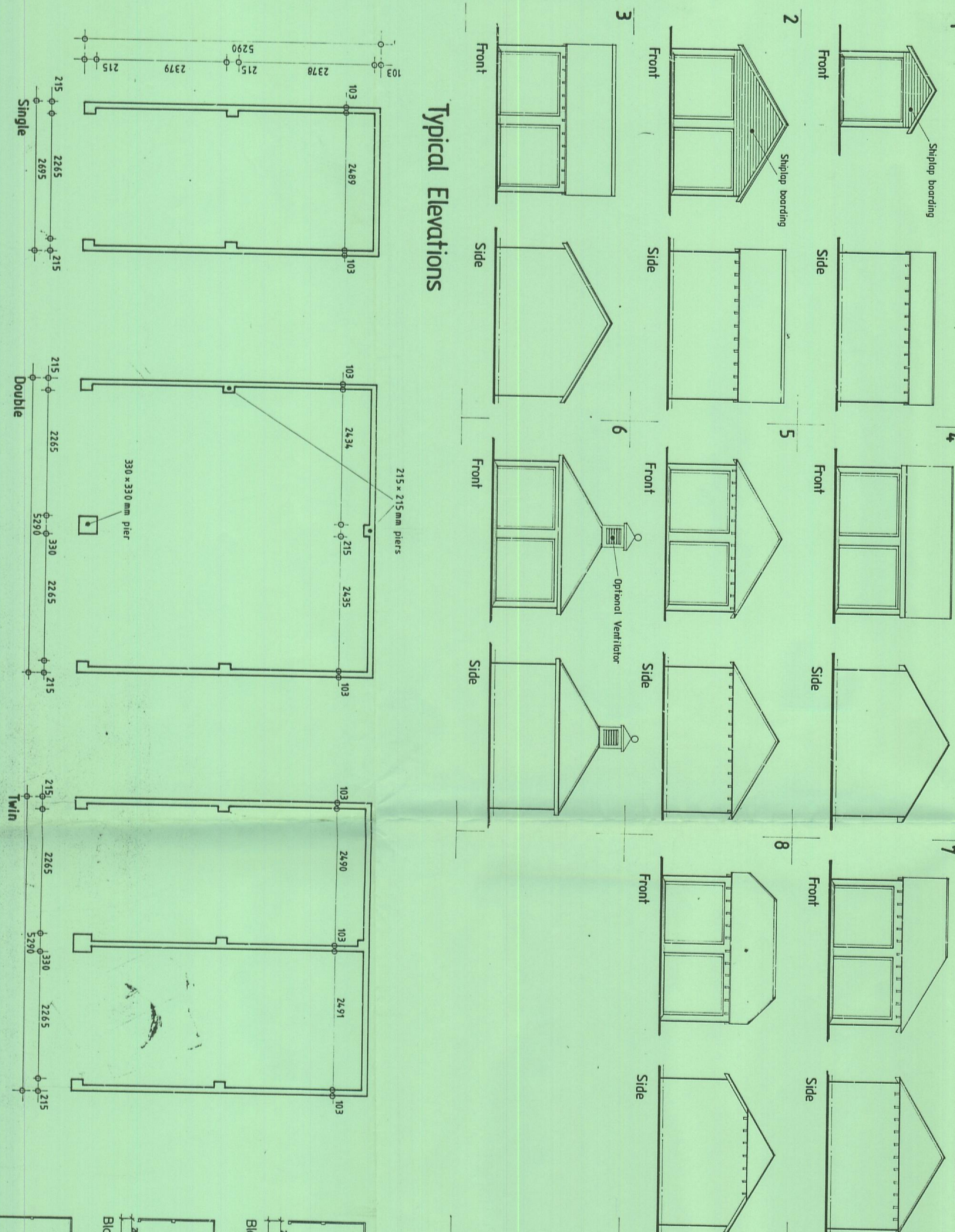
Typical Roof Configurations

Single (Pitched side to side)

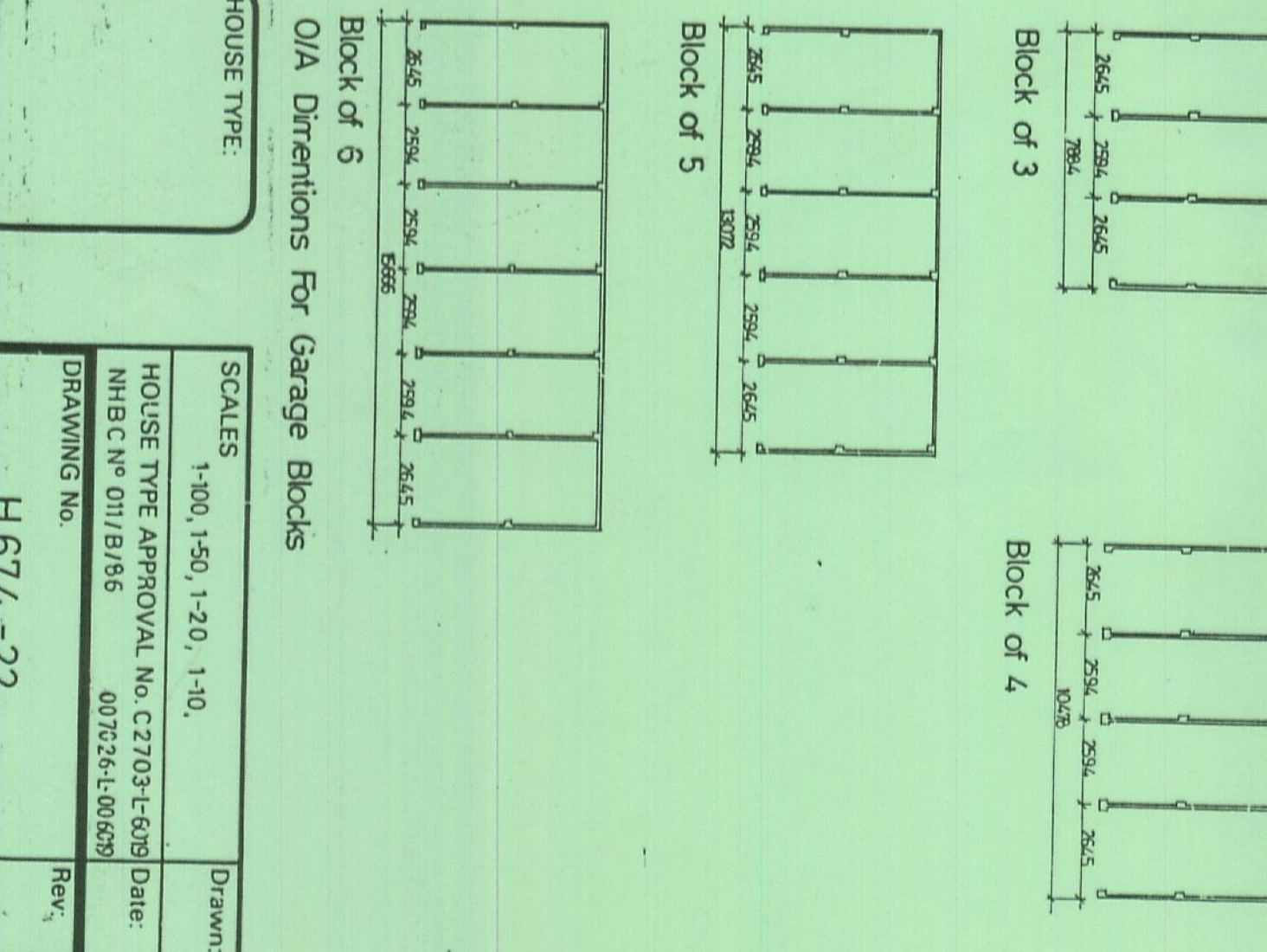
Double or Twin (Pitched front to rear)

Double or Twin (Pyramid)

Typical Elevations



GARAGE ATTACHED TO HOUSE.
note - foundations to match and
line through with house.



WILCON DESIGN
The Design Group of Wilcon Homes Ltd.
Thomas Wilcon House, Tenter Road,
Moulton Park, Northampton, NN3 10J.
Telephone: 0604 46121

STANDARD GARAGE DETAILS

HOUSE TYPE:
Scales: 1-100, 1-50, 1-20, 1-10.
HOUSE TYPE APPROVAL No. C2703-T-608 Date: NHB/C No. 011/B/86 007526-L/00/05
DRAWING No. H 67.4-22 Rev.

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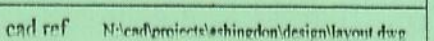
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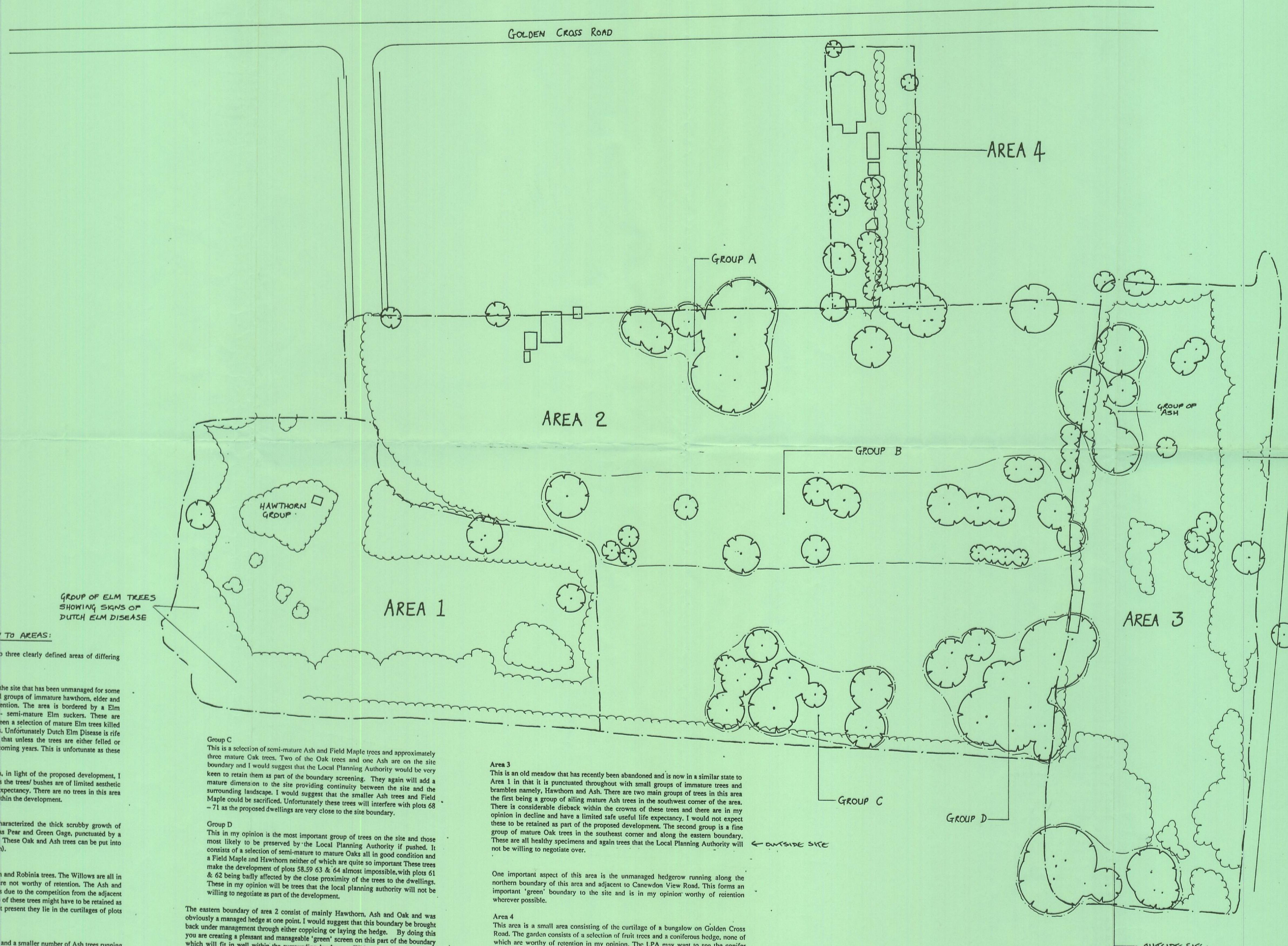


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TREE APPRAISAL AND KEY TO AREAS:

As stated above the site can be divided into three clearly defined areas of differing vegetation type, namely:

Area 1
This is an old meadow at the southern end of the site that has been unmanaged for some time. The area is broken up by small isolated groups of immature hawthorn, elder and brambles, none of which is worthy of retention. The area is bordered by a Elm hedgerow/shelterbelt consisting of young - semi-mature Elm suckers. These are obviously the offspring of what must have been a selection of mature Elm trees killed by Dutch Elm Disease in the 1960's and 70's. Unfortunately Dutch Elm Disease is rife in the hedgerow/shelterbelt and this means that unless the trees are either felled or coppiced the remaining trees will all die in coming years. This is unfortunate as these boundaries are onto open farmland.

With regards to the management of this area, in light of the proposed development, I would recommend that the area be cleared as the trees/bushes are of limited aesthetic value and the elm hedge has a limited life expectancy. There are no trees in this area that have any potential as established trees within the development.

Area 2
This is the large central part of the site characterized the thick scrubby growth of Myrobalan plum and other fruit trees such as Pear and Green Gage, punctuated by a selection of semi-mature Oak and Ash trees. These Oak and Ash trees can be put into four loosely defined groups (see attached plan).

Group A
This is a mixed group of Willow, Ash and Robinia trees. The Willows are all in poor condition and in my opinion are not worthy of retention. The Ash and Robinia are all tall spindly specimens due to the competition from the adjacent trees. I would suggest that one or two of these trees might have to be retained as part of the proposed development. At present they lie in the curtilages of plots 23 - 27.

Group B
This is a selection of principally Oak and a smaller number of Ash trees running along the center of the area, bisecting it between east and west. Nearly all the trees are good healthy specimens which could be of value within the proposed development adding a mature dimension and providing continuity between the site and the surrounding landscape. The majority of these trees appear to be within the proposed public open space and could therefore easily be fitted into the proposed development. However I would suggest that these trees are accurately surveyed to get their true position prior to any further alteration to the layout.

Group C
This is a selection of semi-mature Ash and Field Maple trees and approximately three mature Oak trees. Two of the Oak trees and one Ash are on the site boundary and I would suggest that the Local Planning Authority would be very keen to retain them as part of the boundary screening. They again will add a mature dimension to the site providing continuity between the site and the surrounding landscape. I would suggest that the smaller Ash trees and Field Maple could be sacrificed. Unfortunately these trees will interfere with plots 68 - 71 as the proposed dwellings are very close to the site boundary.

Group D
This in my opinion is the most important group of trees on the site and those most likely to be preserved by the Local Planning Authority if pushed. It consists of a selection of semi-mature to mature Oaks all in good condition and a Field Maple and Hawthorn neither of which are quite so important. These trees make the development of plots 58, 59, 63 & 64 almost impossible, with plots 61 & 62 being badly affected by the close proximity of the trees to the dwellings. These in my opinion will be trees that the local planning authority will not be willing to negotiate as part of the development.

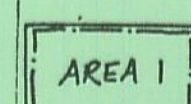
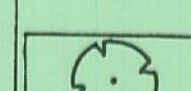


The eastern boundary of area 2 consist of mainly Hawthorn, Ash and Oak and was obviously a managed hedge at one point. I would suggest that this boundary be brought back under management through either coppicing or laying the hedge. By doing this you are creating a pleasant and manageable 'green' screen on this part of the boundary which will fit in well within the surrounding landscape. With regards to the western boundary there is no definitive boundary as far as the vegetation is concerned. There are few tree of any value along this boundary and in my opinion it would be best the clear the trees and create a more definitive boundary.

Area 3
This is an old meadow that has recently been abandoned and is now in a similar state to Area 1 in that it is punctuated throughout with small groups of immature trees and brambles namely, Hawthorn and Ash. There are two main groups of trees in this area the first being a group of ailing mature Ash trees in the southwest corner of the area. There is considerable dieback within the crowns of these trees and there are in my opinion in decline and have a limited safe useful life expectancy. I would not expect these to be retained as part of the proposed development. The second group is a fine group of mature Oak trees in the southeast corner and along the eastern boundary. These are all healthy specimens and again trees that the Local Planning Authority will not be willing to negotiate over.

Area 4
This area is a small area consisting of the curtilage of a bungalow on Golden Cross Road. The garden consists of a selection of fruit trees and a coniferous hedge, none of which are worthy of retention in my opinion. The LPA may want to see the conifer hedge retained as screening between the existing and proposed development. None of those tree should detrimentally affect the proposed development.

FOR FULL APPRAISAL SEE TREE SURVEY REPORT.

KEY

-  **AREA 1** IDENTIFIABLE AREA OF DIFFERING VEGETATION TYPE AS IDENTIFIED WITHIN TREE APPRAISAL REPORT. EACH HAS ITS OWN INDIVIDUAL CHARACTER AND INDIVIDUAL FEATURES WORTHY OF EXPLANATION.
-  DOMINANT EXISTING MATURE OR SEMI-MATURE TREE.
-  GROUP OF DOMINANT MATURE AND SEMI-MATURE TREES AS IDENTIFIED WITHIN TREE SURVEY REPORT.
-  CANOPY EDGE OF SCRUB/IMMATURE TREES. UNMANAGED.


N.B. THIS PLAN TO BE READ IN CONJUNCTION WITH ARBORICULTURAL REPORT.

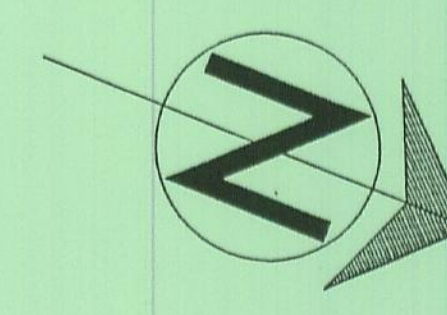
GENERAL NOTES

DO NOT SCALE OFF THIS DRAWING
ALL DIMENSIONS IN MILLIMETERS
ALL DIMENSIONS TO BE CHECKED ON SITE

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REVA: CHANGES TO KEY AND NOTES. 22/9/98

JAMES BLAKE ASSOCIATES Registered with the Landscape Institute Landscape Architects 2 Warren Way High Street, Lutterham, N. Salford, Suffolk CO10 9PY Telephone (01793) 247254 Facsimile (01793) 247254		
CLIENT:	DWG TITLE:	
WILSON HOMES (EASTERN) LTD.	TREE SURVEY	
PROJECT:	ASHINGDON, ESSEX: GOLDEN CROSS ROAD	
SCALE:	DATE:	
1:500	11/08/98	



KEY

- EXISTING TREE SEE ACCOMPANYING SCHEDULE FOR DETAILS.
- EXISTING HEDGE SEE ACCOMPANYING SCHEDULE FOR DETAILS.
- EXISTING VEGETATION GROUP SEE ACCOMPANYING SCHEDULE FOR DETAILS.
- IDENTIFYABLE AREA OF DIFFERING VEGETATION TYPE AS IDENTIFIED WITHIN ACCOMPANYING SCHEDULE.

REVISION	DATE	DETAILS

JAMES BLAKE ASSOCIATES
CHARTERED LANDSCAPE ARCHITECTS

SOUTHERN OFFICE
2 Norman Way, High Street,
Laverham, Suffolk CO10 4PT
Tel: 01270 248216
Fax: 01270 247884

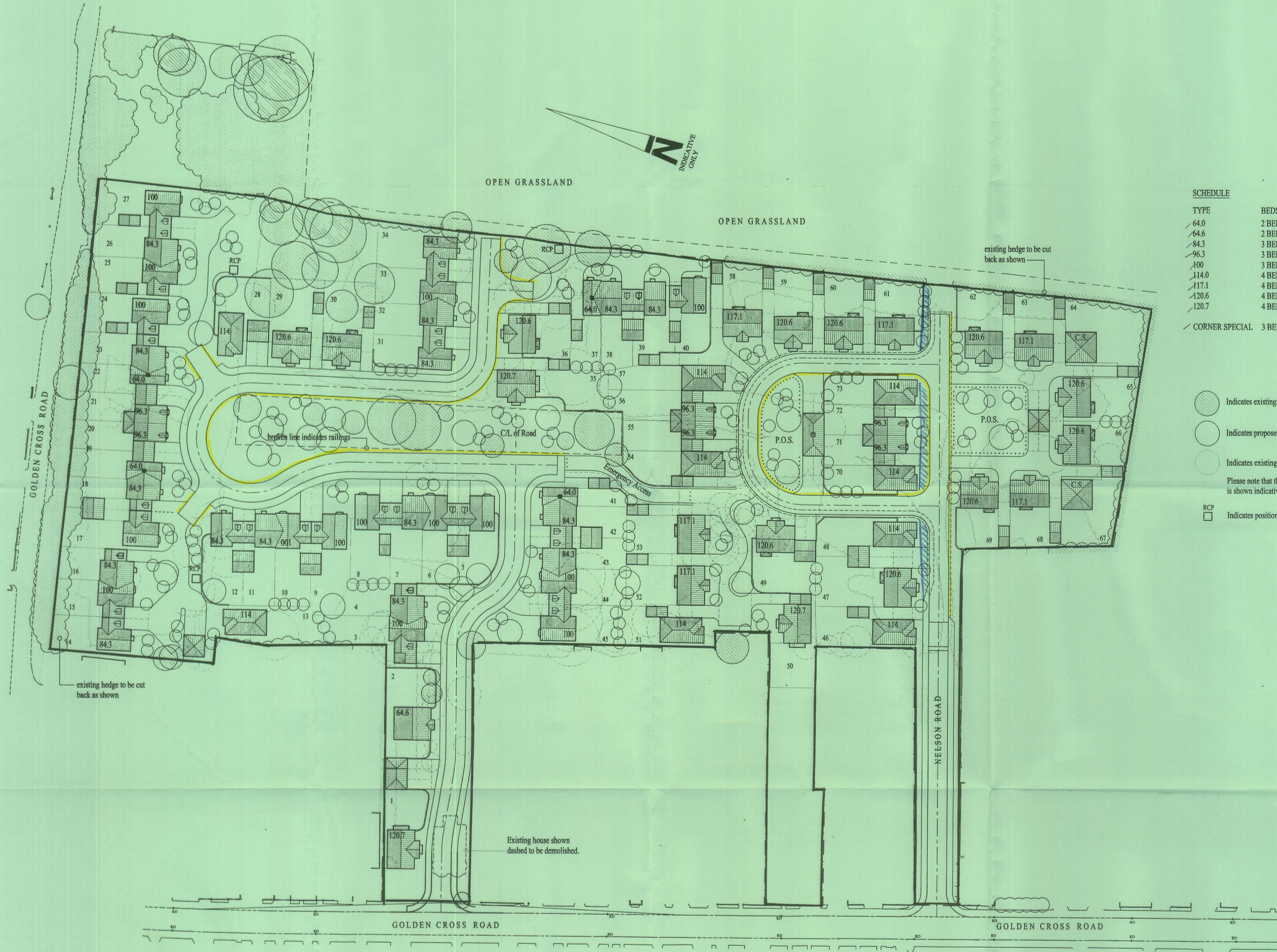
NORTHERN OFFICE
56 Main Road, Wyke, York
YO4 1JL
Tel: 01904 841024
Fax: 01904 841024

ISSUED BY:

CLIENT: WILSON HOMES EASTERN
SITE: GOLDEN CROSS RD, ASHINGTON, ESSEX

SCALE: 1:250
DATE: 18/05/99
DRAWN BY: J.E.V.
CHECKED BY:

REV. 1



SCHEDULE

TYPE	BEDS	No
64.0	2 BED HOUSE	4 no
64.6	2 BED BUNGALOW	1 no
84.3	3 BED HOUSE	16 no
96.3	3 BED HOUSE	6 no
100	3 BED HOUSE	15 no
114.0	4 BED HOUSE	9 no
117.1	4 BED HOUSE	6 no
120.6	4 BED HOUSE	11 no
120.7	4 BED HOUSE	3 no
CORNER SPECIAL	3 BED HOUSE	2 no
		73 no total

- Indicates existing trees to remain
- Indicates proposed planting
- Indicates existing trees to be removed
- Please note that the proposed planting is shown indicative only.
- RCP
- Indicates position of Refuse Collection Point.

REVISED PLANS

9 SEPT 99

Rev A
House type schedule revised,
parking spaces adjacent to plot 36 amended,
garage to plot 30 moved forward,
rear boundaries to plots 35,36,37,38 and 57
re-aligned.

DCB 07/08/99

GOLDEN CROSS ROAD
ASHINGDON
ROCHFORD, ESSEX

SITE LAYOUT

scale 1:500

cad ref N:\cad\projects\ashingdon\designs\layout.dwg

dwg.no E121-50 A