

Your Ref:
Our Ref:
Date:

WEC/GB/Wells & Wilson
20 February 2006

The Old Bank 470-474 London Road
Westcliff on Sea Essex SSO 9LD
DX 100808 WESTCLIFF 1

Telephone 01702 338338
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Criminal Department
24Hr Emergency No: 01702 342525

PRIVATE & CONFIDENTIAL
R Wilson Esq and C Wells Esq
384-386 Rayleigh Road
Eastwood
Essex SS9 5PT

Dear Richard and Clive

297 Eastwood Road Rayleigh Essex

Further to our telephone conversation of 1 February last I have now heard further from the seller's solicitors in which they confirm the following:

- The property has been sub-divided for as long as the seller can remember. I presume this is over 10 years, but I will seek clarification from Drysdales although any subsequent buyer would doubtless wish to see a certificate of lawful use. I am in contact with the Council.
- Please find enclosed a copy of a letter I have today received from Rochford District Council the contents of which I trust are self explanatory. I would be grateful if you would confirm whether you wish to impose an obligation on the seller to apply to the Council for a lawful development certificate or whether subject to the seller providing the appropriate evidence you will submit an application at your own cost which I would suggest be determined prior to exchanging Contracts. I am mindful that you do not wish for the seller to increase the sale price on the basis that the property being sold is as two flats and I therefore wish to tread carefully.
- The windows were replaced prior to 2002 and therefore no FENSA certificates are required by law.
- There is a right of way regarding the rear access, but this is currently blocked and needs clearing. It is not clear if the right of way is blocked by something within the control of the seller or something else. I assume you visited the property and maybe you can let me know if you saw what the blockage was. I will also enquire further of Drysdales.
- They are prepared to the lodge the application for first registration, but request that you pay the fee of £110. I understand you are quite keen to purchase the property and therefore you probably would not want to spend too much time and money

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Wendy Cole
Paul Robinson
470-474 London Road
Westcliff On Sea
Essex
SS0 9LD

6 High Street
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Consultants:
A.T. Richards FRICS, MCIArb
G.A. Stoneham FRICS

16th March 2006

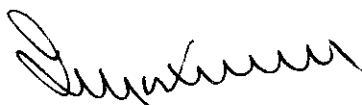
Dear Mrs Cole,

Re: Mrs M E 297 Eastwood Road Rayleigh Essex

I thank you for your recent letter and I am pleased to reply as follows: I can confirm that the bulk of the double glazing was carried out prior to the 1st April 2002. This work involved the windows to the front elevation in both the upper and ground floor flats. A single bathroom window was however installed at a later date in November 2004, as was a window in the ground floor bedroom at the same time.

Whilst writing I can confirm that we have managed the properties at least since October 1993 and they were let then as two-self-contained one bedroom flats. Please feel free to contact me at the Rayleigh office if you require any further information.

Yours sincerely



Ian Maxwell MARLA
Manager
Property Management Department
imaxwell@rona.co.uk

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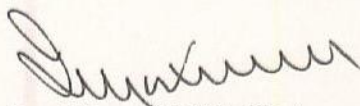
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Ian Maxwell MARLA
Manager
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Management and Lettings Departments

Offices at: Ilford, Rayleigh, Wickford.


Association of Residential Letting Agents

www.rona.co.uk

 **RICS**

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Partners: Paul Robinson Glenn Chetland Wendy Cole Samantha Molineaux Samuel Robinson Sybilla Agasee

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