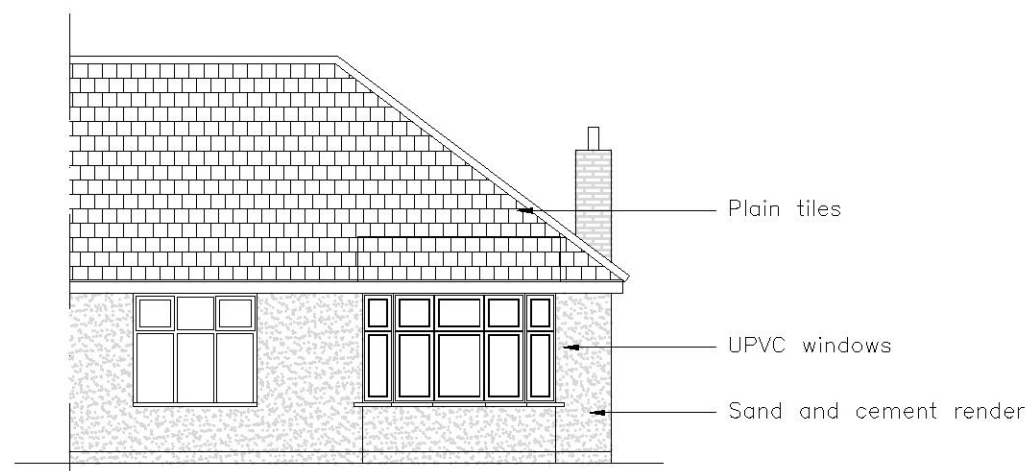
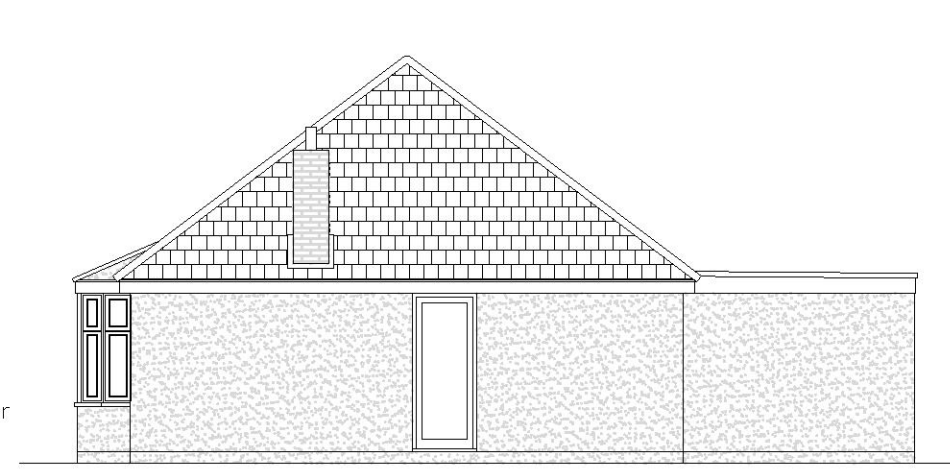
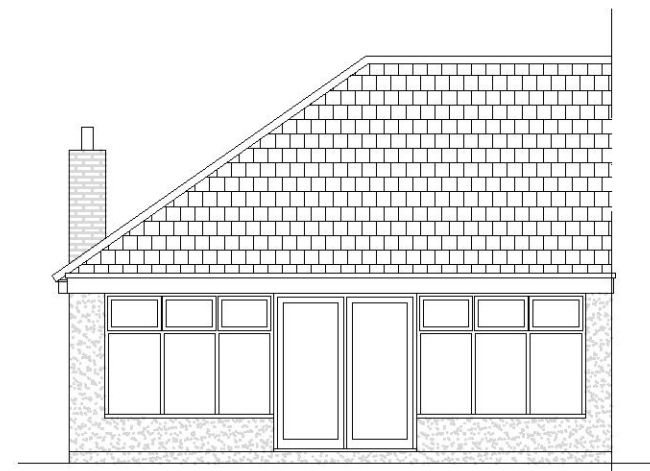




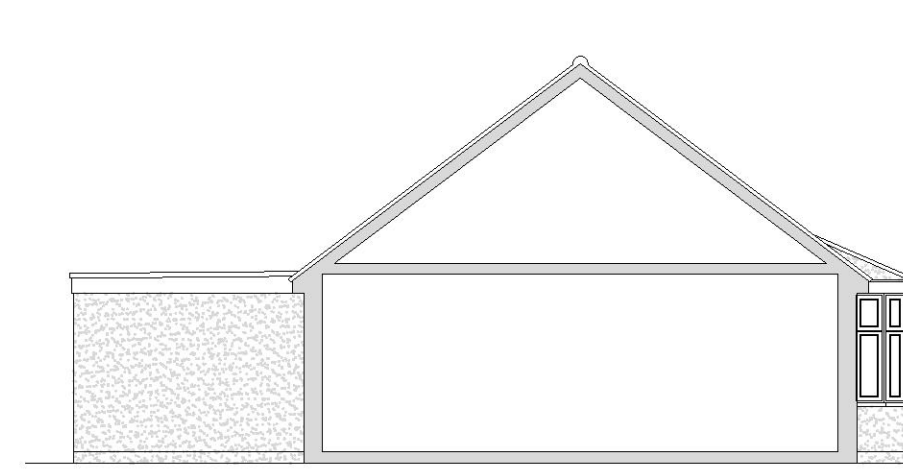
Existing Front Elevation



Existing North Elevation



Existing Rear Elevation



Existing South Elevation

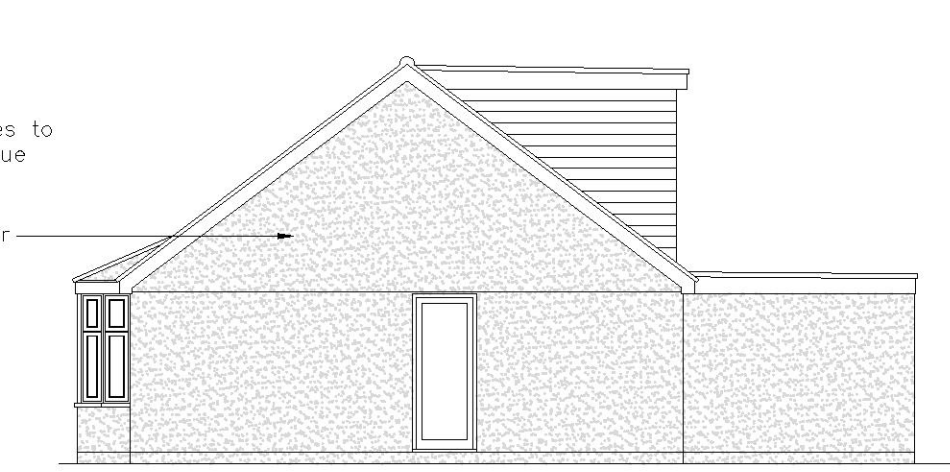


Existing Site Plan (1:500)

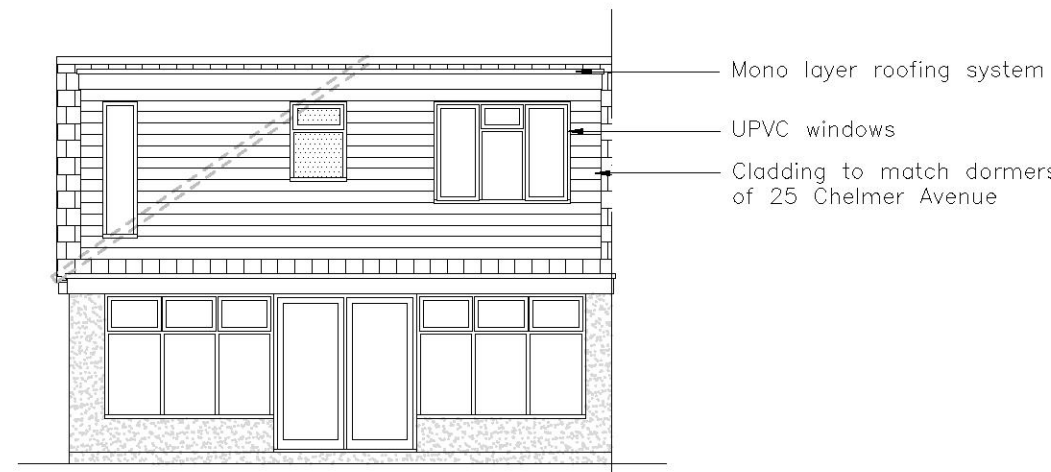
Proposed Site Plan (1:500)



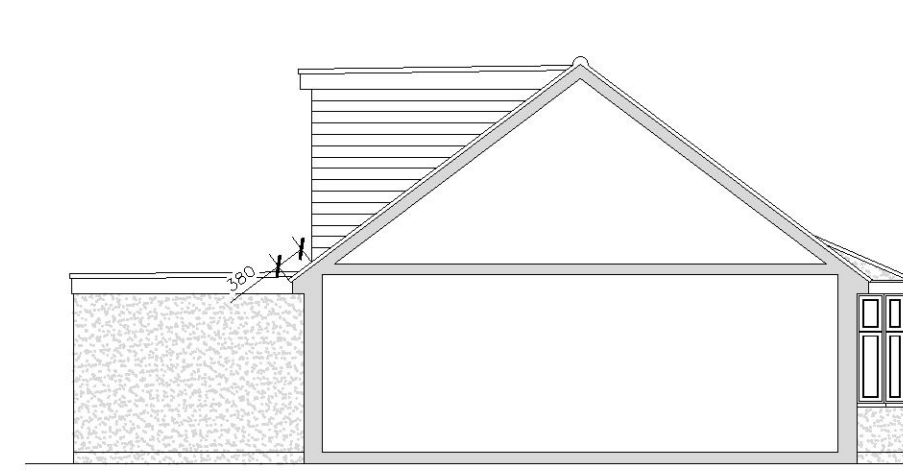
Proposed Front Elevation



Proposed North Elevation



Proposed Rear Elevation



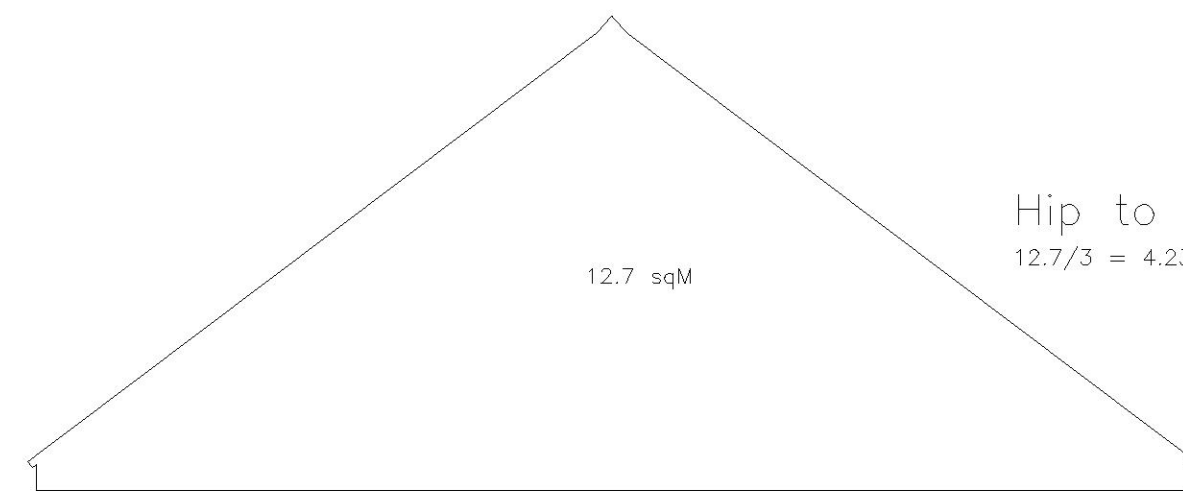
Proposed South Elevation

Ordnance Survey
OS Sitemap Scale 1:1250

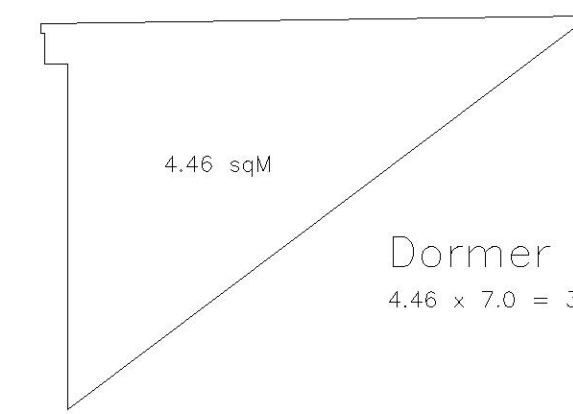


20 0 20 40 60 80 100
Metres

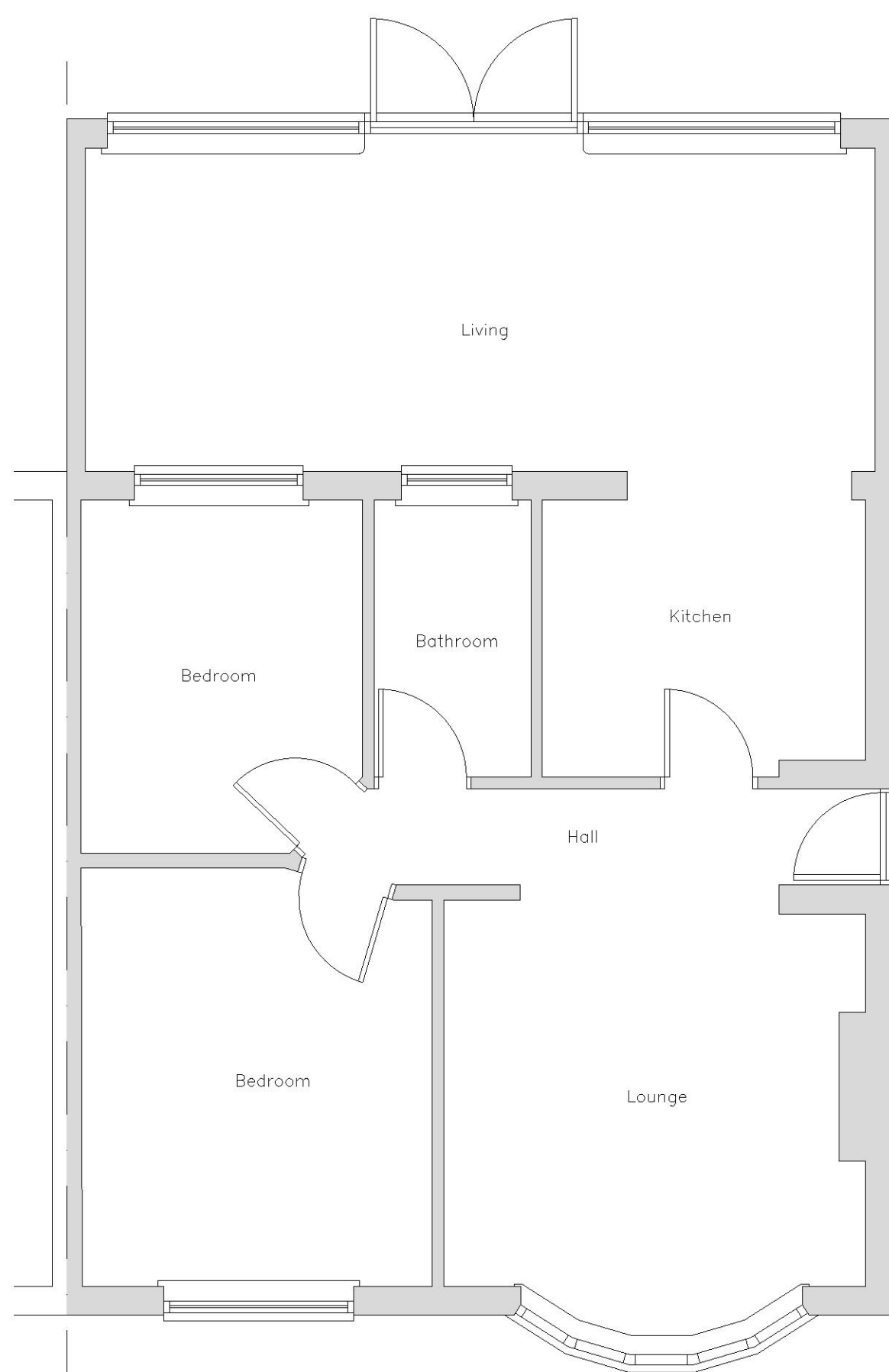
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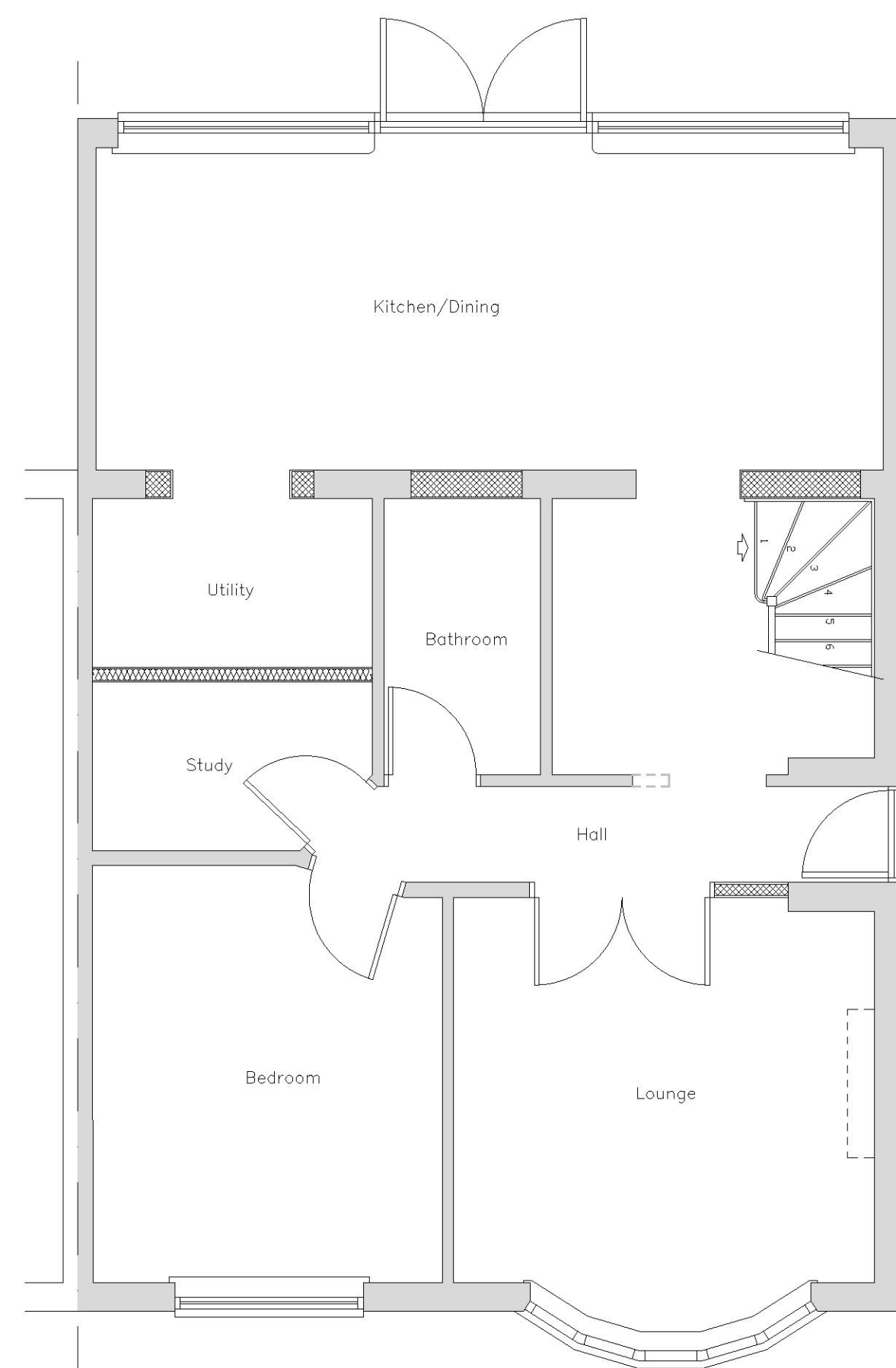
Hip to Gable Volume Calculation
 $12.7/3 = 4.23 \times 3.83 = 16.2$ cubic metres



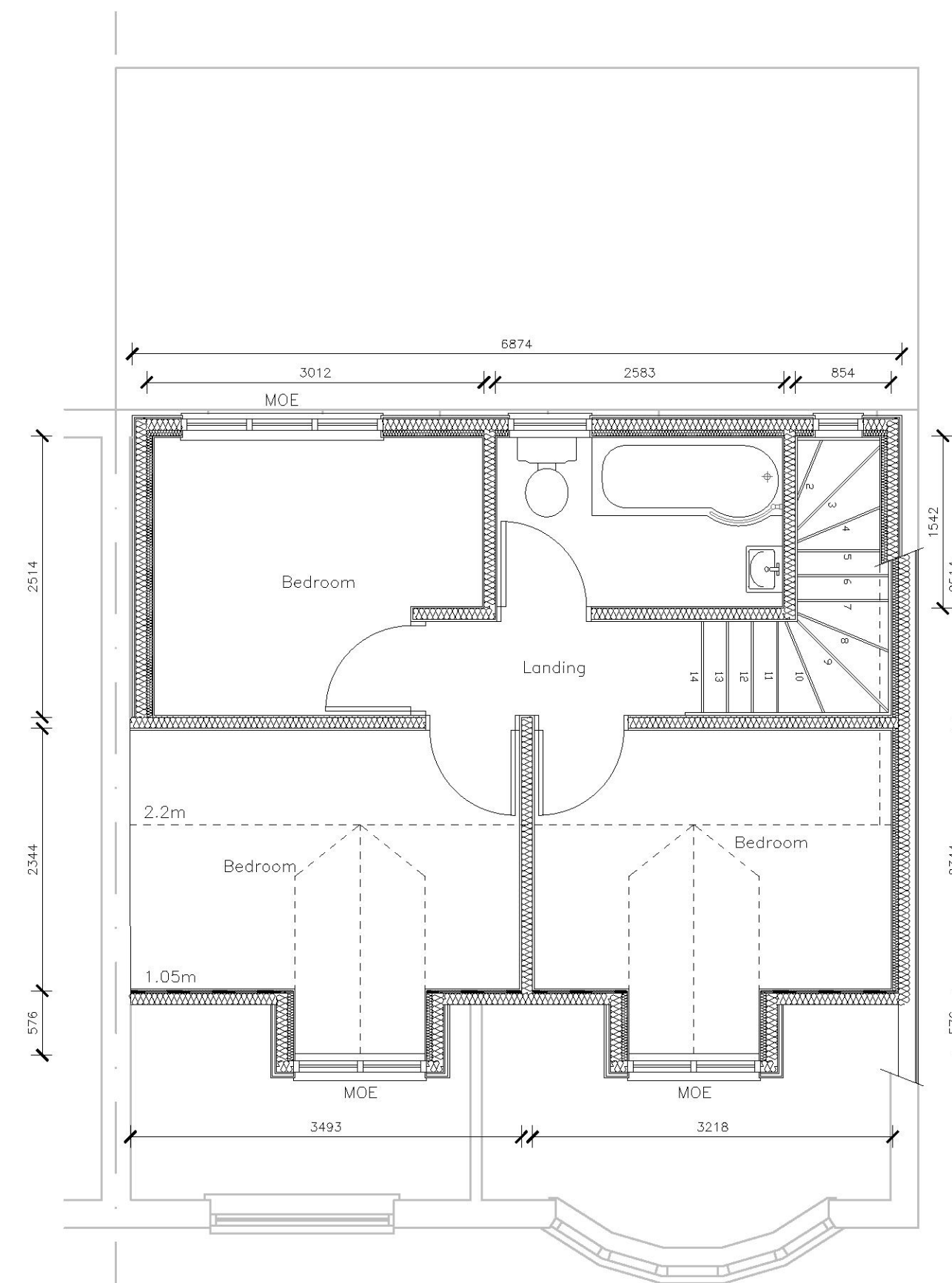
Dormer Volume Calculation
 $4.46 \times 7.0 = 31.2$ cubic metres



Existing Ground Floor Plan 1:100



Proposed Ground Floor Plan



Proposed First Floor Plan

Rev. No.	Date	Amendment
CHAMPION Planning Services 229 High Street Wokingham Essex, SS3 0HL Tel: 07958 695876 roylaidlaw@live.co.uk		
Client: Mr C Mullaly		
Project: 16 Chelmer Avenue Rayleigh Essex SS6 7TB		
Drawing: Hip to Gable Loft Conversion Certificate of Lawfulness		
Scale:	1:50 @ A1	Date: Oct 24
Drawing No: 24:2210:02		
NOTE: All dimensions to be checked on site before work commences. Do not scale this drawing, work only to specified dimensions. Report all discrepancies to the Draughts Person.		