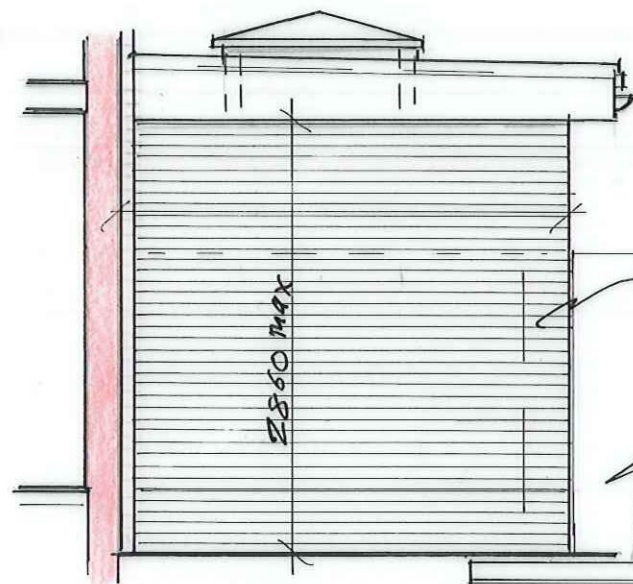


A3

0 1 2 3 4 5 (1:50)

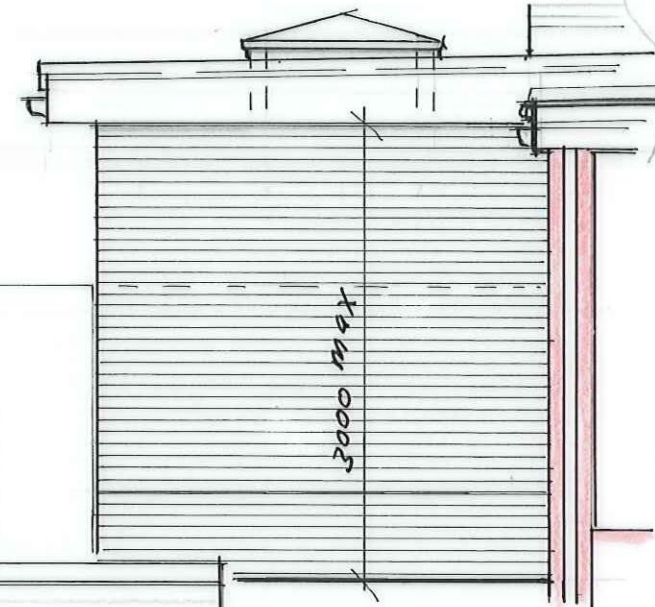


SIDE

Note: if written 'access to render' obtained from neighbours, if required then 2 coat slc render finish to B.S. 262

New d.p.c. lapped over existing - see A-A spec

where existing wastes to hopper to WP and 100 Ø c.l. SUP removed (see plan) then all F.F. wastes to new 100 Ø u.p.v.c. SUP up to vented terminal at min 900 above openings

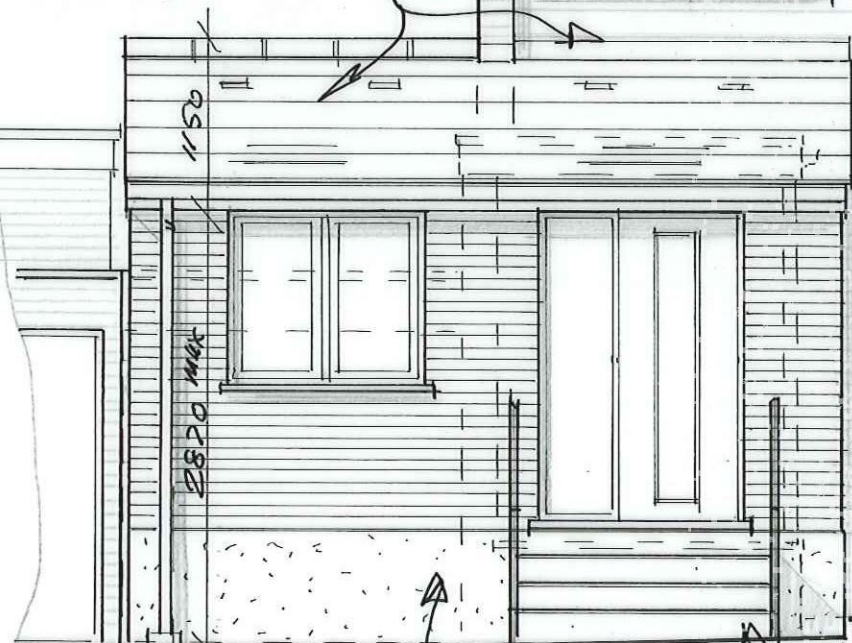


FLANK

Remove existing flat roof garage and front porch - see plan - A-A retain existing party wall and structure. New 'Plain' tiled roof and ridge tiles with red, through vents, then 150 high code & lead flashing to wall

make good roof

New roofing etc. see plans - A-A with 150 high code & lead flashing at walls



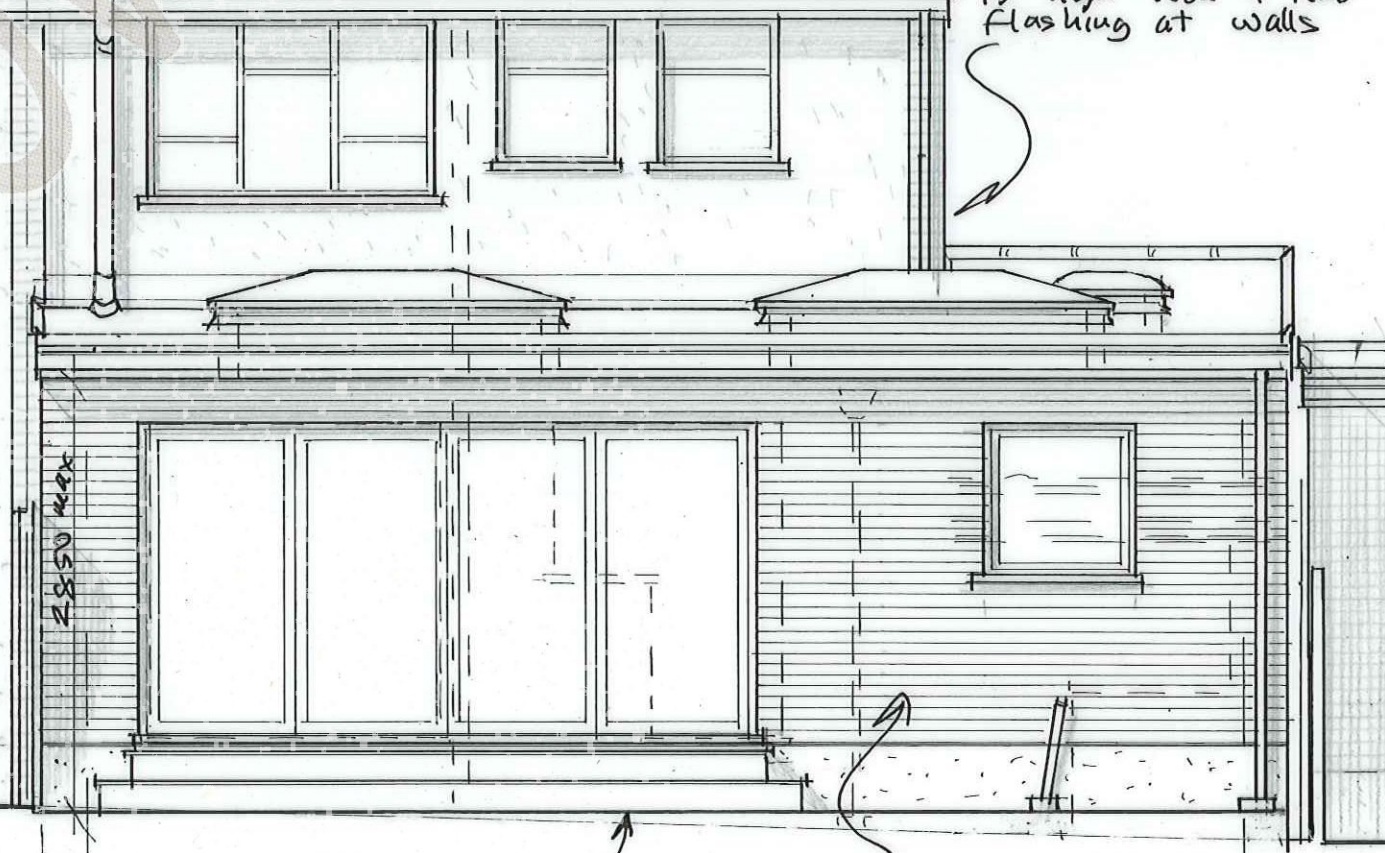
FRONT

new d.p.c. lapped over existing etc

Note: wall eccentrically loaded

New d.l.g. frames to new face brick to match existing and rendered plinth etc - see plan - A-A.

New steps up and poss guarding etc - see plan spec - depends on new amended front drive area level etc



REAR

Note: walls eccentrically loaded on walls to avoid encroachment - see A-A

New d.l.g. frames to new wall of face brick to match - if render reqd then suggest see note above and decide on-site - to client brief - L.A. approval. suggest new raised path at level etc see plan - A-A

Note: if any existing air bricks was obscured then new u.p.v.c. pipes through new solid floor as duct & new 45 x 150 airbricks - to L.A. app. on-site

PROPOSED ELEVATIONS 1:50

Drg. No. DC:27:JAWS:P4