

21 MAR 2007

07/289/FUL

PLAN

FRONT ELEVATION WEST

SIDE ELEVATION SOUTH

ROCHFORD DC
APPROVED PLAN

FACTORY WALL CONDITIONS: CLIENT TO NOTIFY OWNERS OF N°12 HAMILTON GARDENS REGARDING THE PROPOSED WORKS ADJACENT TO THEIR BOUNDARY IN WAITING AND RECEIVE CONFIRMATION OF ACCEPTANCE FROM THE OWNER OF N°12 HAMILTON GARDENS IN WAITING BEFORE ANY WORKS COMMENCE ON SITE

SEALINGS SET MIN 6-0" FROM ANY BLDS

REAR ELEVATION EAST

(8-0) 2-4" WIDE DOOR + 2-1/2" WIDE FRAMES = 2590

ALL NEW MATERIALS TO MATCH & HARMONIZE IN COLOUR & TEXTURE WITH EXISTING WORKS

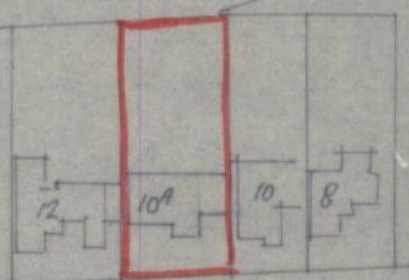
SIDE ELEVATION NORTH

PC LINTOL OVER SEWER WHERE PASSING THROUGH FOUNDATION WITH 50 POLYSTYRENE

SECTION A-A

SECTION B-B

LOCATION PLAN 1:500



ROOF PLAN

1. OTHER MATERIALS FOR INSULATION CAN BE USED BUT THE U VALUES MUST BE OBTAINED.
AS STATED.

2. ROOF: (U=0.16 W/m²K) TILES OVER BATTEN & TYNEX SUDAR FELT. PITCH 30° 100x50 JOISTS-400% BOULE TRUSS MAX 1600E 100x50 CEILING JOISTS 400% 200x50 BINDER 150x50 PURLIN 175x32 HIP RAFTER. FLAT ROOF PROVIDE 20 PLYWOOD OVER FLOOR AS TO FALL TO TAKE CODE & LEAD DRESSING WITH LEAD JOINTS. PROVIDE 250 CROWN INSUL IN VOID 12" P.B. SET TO CEILING. FIX 5W STRIPS TO 100x50 PLATE & SECURED TO INT WALL AT 1-2" MIN.

3. WALLS: (U=0.30 W/m²K) 100 BUIL OUTER SKIN 85 CAVITY 100 BUIL SUDAR BLOCK INNER SKIN. 3/4 WALL TIES 400/1750. PROVIDE INSULATED CAVITY CLIPS AT REVEALS & CATNIC LINTOLS OVER OPENINGS. 12" PL. 80 & SET OVER DOT & DA 8 TO INTERNAL WALL SURFACE DPL TO 85 TAB SET MIN 150 ABOVE FINISHED PATH LEVEL. PROVIDE 85 DRYTHERM INSULATION IN CAVITY CAVITY FILLED WITH CONCRETE UP TO GROUND LEVEL.

4. GROUND FLOOR: (U=0.22 W/m²K) G.S.C. SLOED WITH 1-LAYER 1/4" MESH OVER 150 CONCRETE OVERSITE WITH 1-LAYER 1/4" MESH ALL OVER 100 THICK WELL COMPACTED H-CURE WITH SAND SURFACE TO TAKE 1200x4 BLACK POLYTHENE D.P. MEMBRANE TAKEN OFF TOPS AND LAPPED WITH HOT 24 DGC. FLOOR AREA OVER ORIG INAL GARAGE SLAB. SCREEN & INSULATION AS ABOVE WITH MAKE UP CONCRETE TO REQUIRED FLOOR LEVEL PROVIDE D.P. MEMBRANE LAID OVER GARAGE SLAB TAKEN UP SIDES.

5. FOUNDATIONS: 30" MIN AT 28 DAYS. MIN DEPTH 1-2" BELOW VIRGIN GROUND LEVEL PLUS ADDITIONAL 450 EXTRA DIG. IF ANY ROOT ORD FOUND ON EXCAVATION. PROVIDE 1-LAYER 8503 MESH TOP & BOTTOM LAPPED AT CORNERS & JUNCTIONS. P.C. LINTOLS OVER SEWER PASSING THRO FOUNDATION. SURROUND IN 50 POLYSTYRENE FOR MOVEMENT. FIX PAPER JOINT BETWEEN EXIST & NEW FOUNDATIONS. ALL EXCAVATED & POURED TO THE SATISFACTION OF L.A. SURVEYOR.

6. PLUMBING: WASTES. SINK UNIT, SINKER 30 DIA. HAND BASIN 30 DIA. ALL WITH T.S.S. ANTI-SIPHON TRAP & REDDING ACCESS DISCH TO EXT. SLD & NEW GULLY. WASTES IN EXCESS OF 2-1/4" INCREASE TO 30 DIA. (NEW 815G KITCHEN TO HAVE AIRTIGHT SCREENED DOWN COVER. MIN 200 SEPARATION BETWEEN W.C. & WASTE CONNECTION. NO HEDGER PIPE FLEXIBLE JOINTS. 7. GLAZING (U=1.70 W/m²K) TO CONFORM TO BS6206-1981 WITH LOWE GLASS 8-0-01 COATING DOUBLE GLAZED 4-20-1 SEALED UNITS. PROVIDE 8000W TRUCKLE VENTS OVER PROVIDE SAFETY GLASS TO FRONT & KITCHEN DOORS BS6206 TYPE C.

8. FASHIA & SOFFITS TO MATCH EXT. 100 1/2 GUTTERS 63 DIA R/P DIPS.

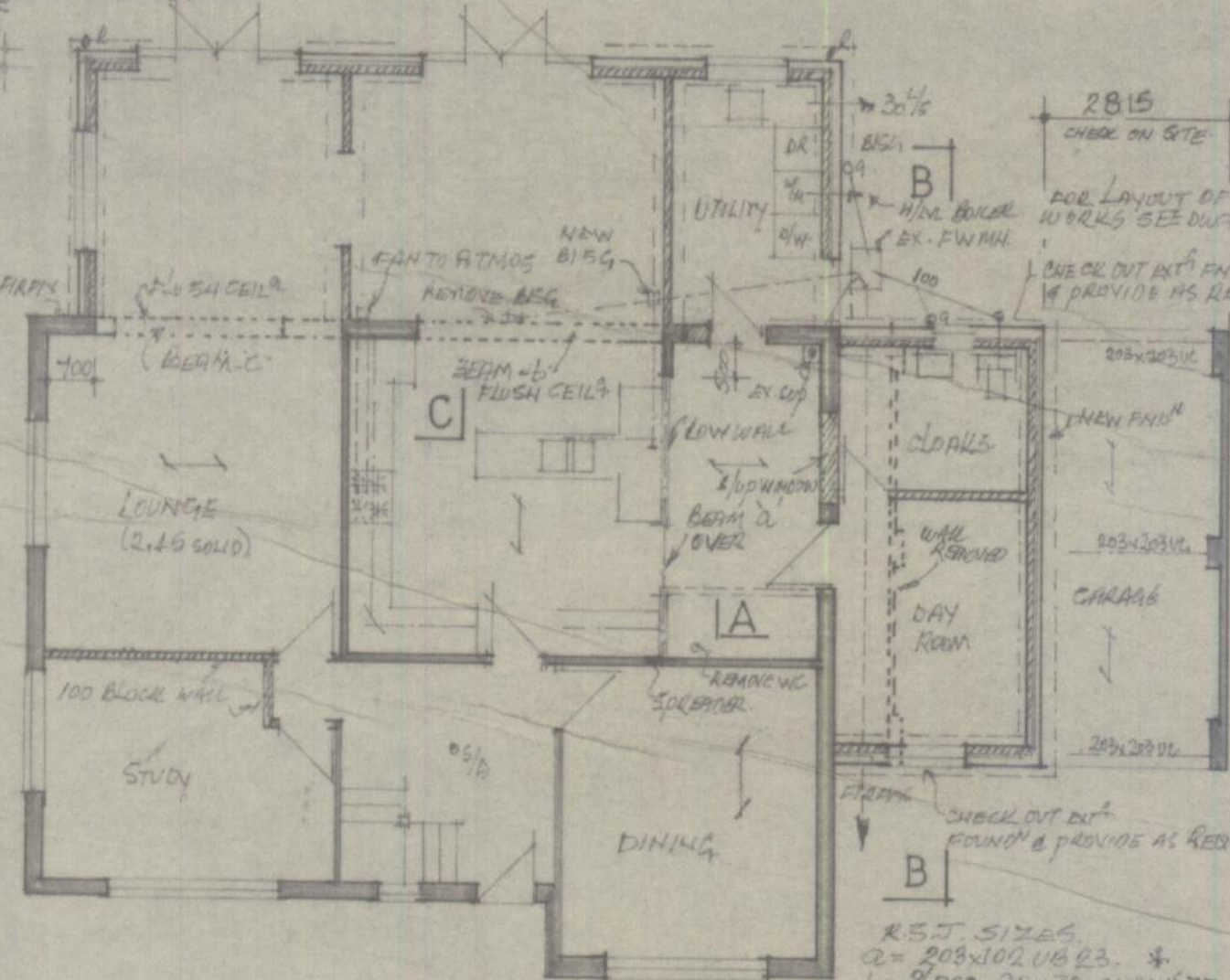
9. PROVIDE BETWEEN EXIST & NEW BUILDING FIRE 30. STAIR FIX TO WALL WITH TIES BONDING NEW WORKS AT 450. PROVIDE VERT MASTIC JOINT SEALING EXTERNALLY. 10. PROVIDE LAMPS. HAVING A LUMINOUS EFFICIENCY GREATER THAN 20 LUMENS PER CIRCUIT WATT. ALL ELECTRICAL WIRING & INSTALLATION TO BE INSTALLED BY A QUALIFIED ELECTRICIAN TO I.E.E STANDARDS. PROVIDE 3/4 CHOKO DETECTORS TO LATEST BRITISH STANDARDS AND TO BE INTER CONNECTED.

11. PROVIDE CONDENSATE COMB-BOILER WITH MIN SEDBUK EFFICIENCY OF 86%. AND INSTALLED BY CORGI REGISTERED INSTALLER WITH FINAL CERTIFICATION AS DESCRIBED IN PART J BLD. REGULATION P23 & P29. FIX 60" ADJACENT TO NEW BOILER.

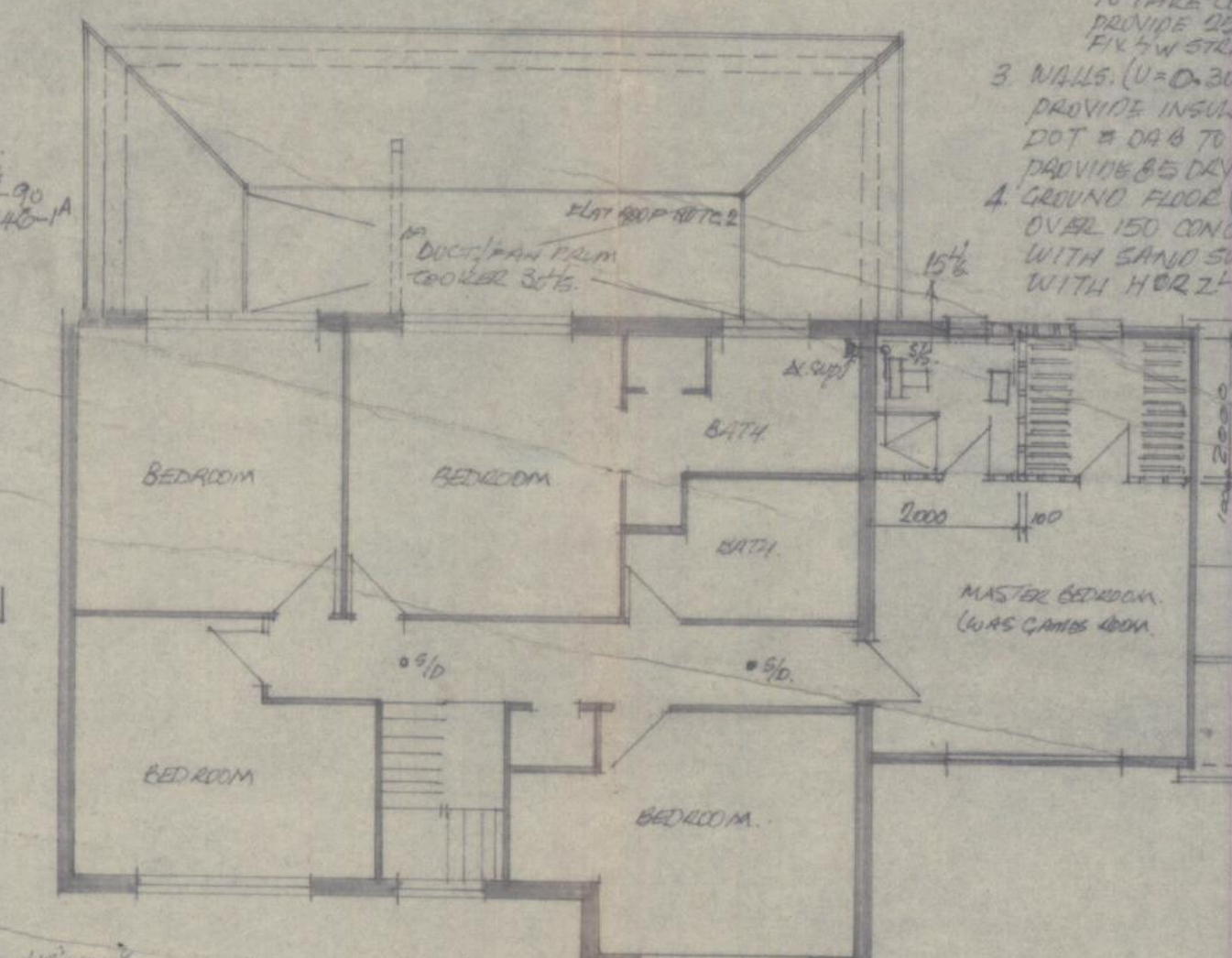
C-C

LOCATION PLAN 1:1250

REMOVE EXT GARAGE WALL BOUN POINTS A TO B. REBUILD ON FOUNDN 270 CAVITY BRICKWORK TO 1/2. EXT 203x203 UC.



GROUND FLOOR PLAN



FIRST FLOOR PLAN

RE-SET SIZES:
A = 203x102 UB 23. *
B = 200x90x35 CHANNEL II BOLTER 412-1200
C = 21203x102 UB 23 BOLTER 412-1200
* EXP. METAL LATH WRAPPED 20 GYPSUM PLASTER FINISH

ROCHFORD DC
APPROVED PLAN

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The contractor must check all site dimensions before commencing work on site and report any discrepancy to the architect. He must also ensure that the drawing he is working to is the latest "approved working drawing". No dimensions to be scaled. All trades and materials to comply with the latest B.S. & C.P. and Local Authority approval as work is completed. All construction to conform with the latest building regulations and N.H.B. Council's requirements. All electrical and gas installations to conform to appropriate regulations and standards.
For site plan and drainage layout see Dwg. No.

PROPOSED REAR ADDITION INTL ALTERATIONS TO
GARAGE LOUNGE & GAMES ROOM FIRST FLOOR
No 10 HAMILTON GARDENS HOCKLEY ESSEX SS5 5BU
for Mr & Mrs G. TREEN

Building Design Consultants

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Residential and
Industrial Buildings
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Modifications and Surveying

SCALE
1/100

DATE

DRG No
964-1