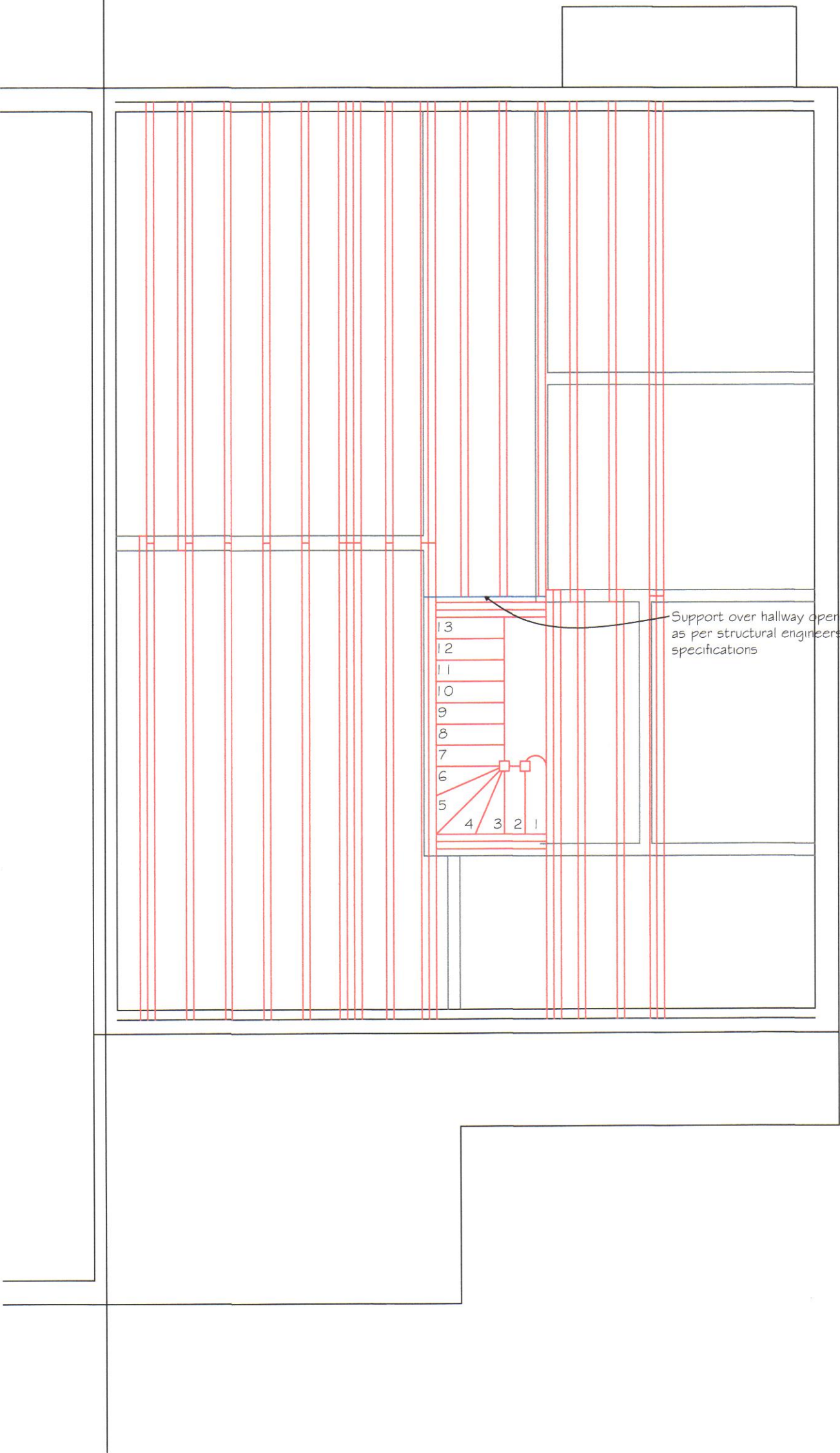


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ROCHFORD DC
APPROVED PLAN

Proposed Loft Floor



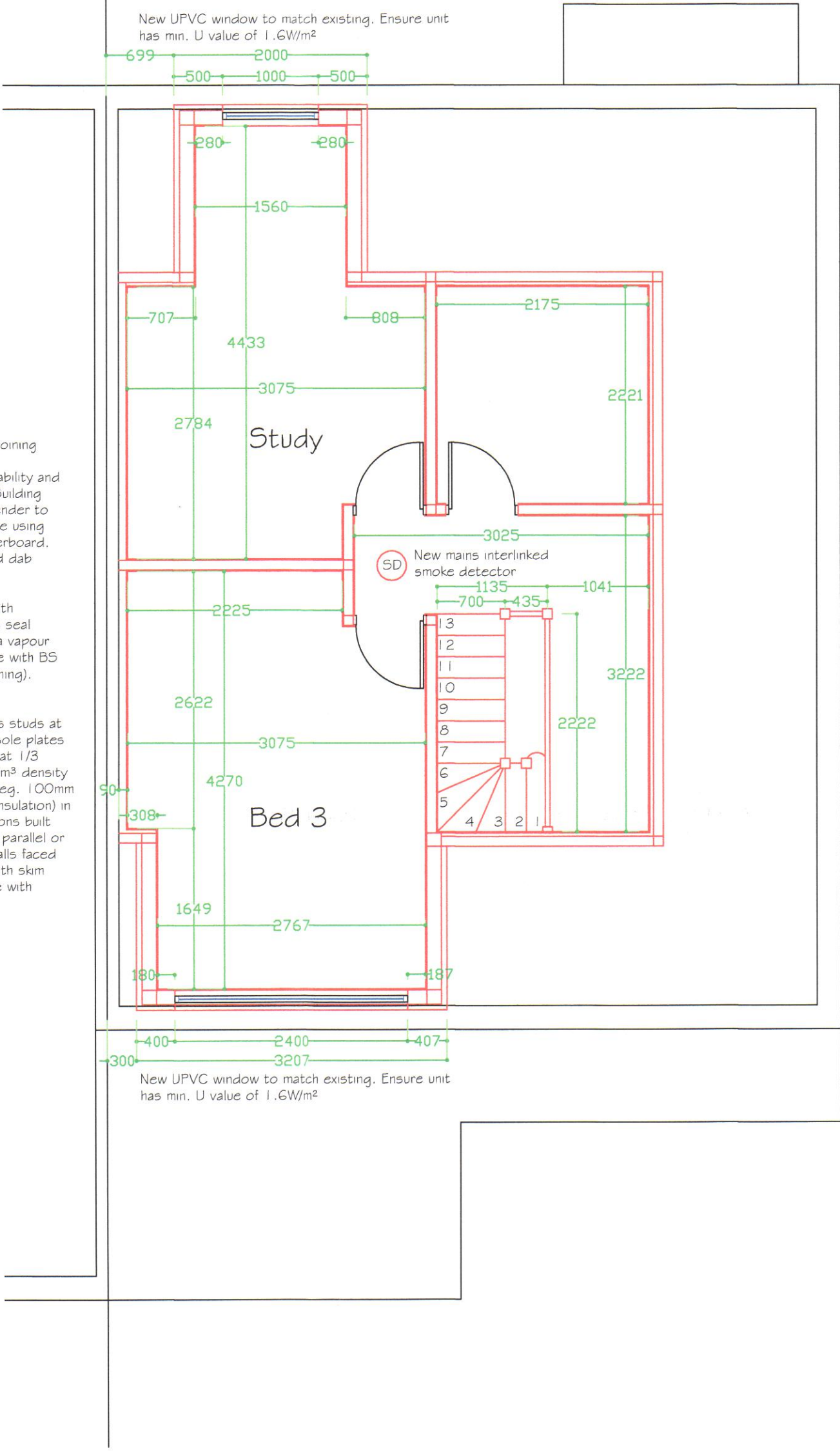
Joists to be 20mm minimum from existing ceiling. (Joist size 75x220 C24 as per TRADA safe span tables to be confirmed by Structural Engineer) provide min 20mm T&G chipboard or timber board flooring. Identification marking must be laid upper most to allow easy identification. To upgrade to half hour fire resistance and provide adequate sound insulation lay minimum 150mm Rockwool insulating material or equivalent on chicken wire between joists and extended to eaves. Chicken wire to be fixed to the joists with nails or staples these should penetrate the joists sole to a minimum depth of 20mm, in accordance with BRE-Digest 208 1988. Joists spans over 2.5m to be strutted at mid span use 38 x 38mm heringsbone strutting or 38mm solid strutting (at least 2/3 of joist depth). Provide lateral restraint where joists run parallel to walls. Floors are to be strapped to walls with 1000mm x 30mm x 5mm galvanised mild steel straps or other approved in compliance with BS EN 845-1 at max 2.0m centres, straps to be taken across minimum 3 no. joists. Straps to be built into walls. Provide 50mm wide x 40 depth solid nogging between joists at strap positions.

Support over hallway opening as per structural engineers specifications

PARTY WALL (cold adjoining) must be checked for stability and as required by the Building Regulations. Provide a scratch coat render to 6 wall on the warm side using 4000 insulated plasterboard, bonded, using dot and dab building construction with 2 at 300mm centres and in accordance with 10mm. Tape joints and seal with mastic, to provide a vapour barrier. All work in accordance with BS 5268 (Code of practice for dry lining).

ATTITIONS Two end treated timbers studs at 100mm head and sole plates its horizontal nogging at 1/3 (or. Provide min 100mm density 4 quilt tightly packed (eg. 100mm mineral fibre sound insulation) in the of the stud. Partitions built where partitions run parallel or are at right angles. Walls faced 5mm plaster board with skim and jointed complete with

Proposed Loft Floor



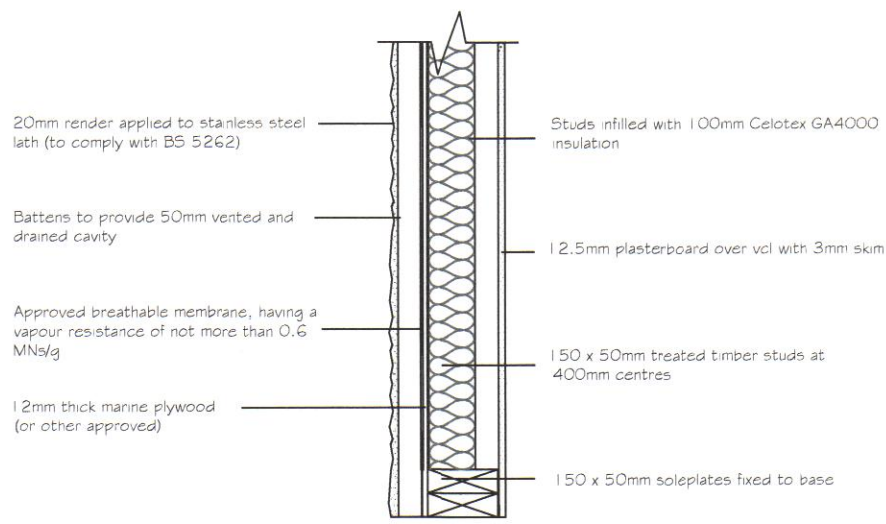
New UPVC window to match existing. Ensure unit has min. U value of 1.6W/m²

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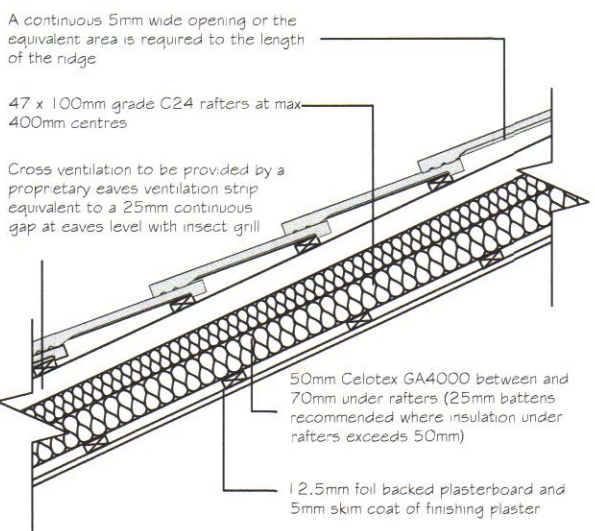
STUD ASHLAR/DWAF WALL To achieve minimum U Value of 0.28W/m²K. Construct stud wall using 100mm x 50mm head and sole plates and vertical studs (with nogging) at 400mm centres or to structural engineer's details and calculations. Insulation between and over studs; 60mm Celotex GA4000 between plus 37.5mm Celotex PL4000 insulated plasterboard with VCL. Finish with 3mm skim coat of finishing plaster. All junctions to have water tight construction, seal all perimeter joints with tape internally and with silicon sealant externally.

UPGRADE OF PITCHED ROOF (Imposed load max 0.75 kN/m² + dead load max 0.75 kN/m²) Vented roof - pitch 22-45° To achieve U-value 0.18 W/m²K Existing roof structure to be assessed by a structural engineer and any alterations to be carried out in strict accordance with structural engineer's details and calculations which must be approved by building control before works commence on site. The existing roof condition must be checked and be free from defects as required by the Building Control Officer any defective coverings or left to be replaced in accordance with manufacturer's details. Roof construction - 47 x 100mm Grade C24 rafters at max 400mm centres max span 2.12m. Insulation to be 50mm Celotex GA4000 infilled between rafters and 70mm under rafters. Fix 12.5mm foil backed plasterboard (joints staggered) and 5mm skim coat of finishing plaster to the underside of all ceilings using galvanised plasterboard nails. Provide a cavity of 25mm by fixing battens between plasterboard and under rafter insulation (recommended where insulation under rafters exceeds 50mm). Maintain a 50mm air gap above insulation to ventilate roof. Provide opening at eaves level at least equal to continuous strip 25mm wide and opening at ridge equal to continuous strip 5mm wide to promote ventilation or provide equivalent high and low level tile vents in accordance with manufacturers details.

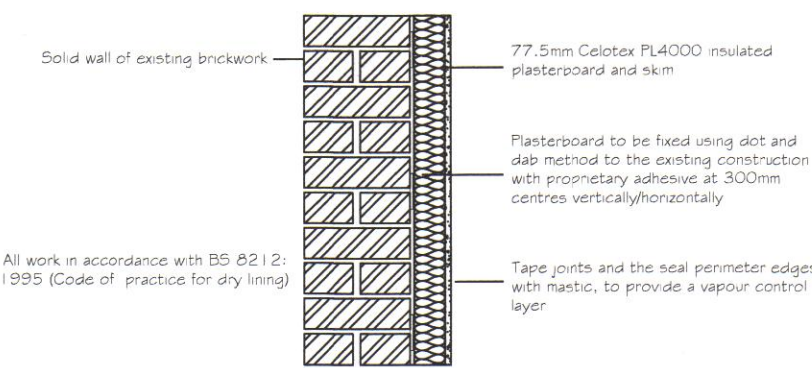
DORMER CHEEK WALL



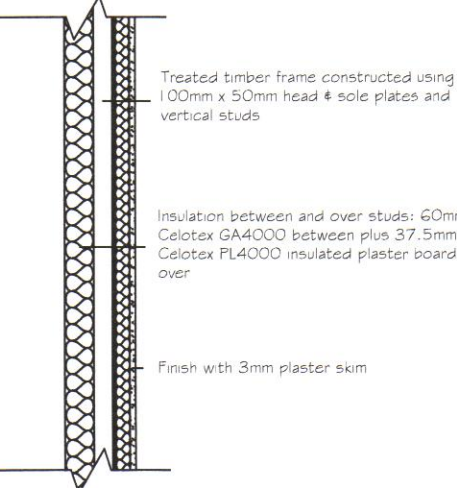
UPGRADE OF EXISTING PITCHED ROOF



UPGRADING SOLID PARTY WALL
Cold adjoining space



ASHLAR/DWAF WALLS



Contractors Notes: All items, notes, dimensions and general design contained in this drawing are for guidance purposes only. Nominated supplier and person responsible for the project should make a thorough check prior to commencement of work against the drawings and specifications, current building regulations, British Standards and codes of practice. The Contractor is to allow within their price for all items not listed but that will be required to complete the work in accordance with all Current Legislation.	Notes: These drawings and any other supporting documentation related to them remain the property of BlueBox Architectural Services until the agreed fees are settled in full. Until such time these plans and all supporting information remain the property of BlueBox Architectural Services, under copyright law the use and copying of these plans is not permitted without the written consent of BlueBox Architectural Services.	Revisions: 1st Draft Building Regulations Proposed Loft Floor Works	Date: 12/12/15	Client: Mr & Mrs Barritt 7 Hill Lane Hockley Essex	Title: Bungalow Loft Conversion and Ground Floor Disability Conversion	Drawn By: ZJ	Contract No: BAS-7HL-BR
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