

Proposals on non-domestic land, adjacent and ancillary to new replacement dwelling:

Nobles Green former waterworks pumping station site
BLATCHES CHASE EASTWOOD SS9 5SN
For: Mr and Mrs D Whiting

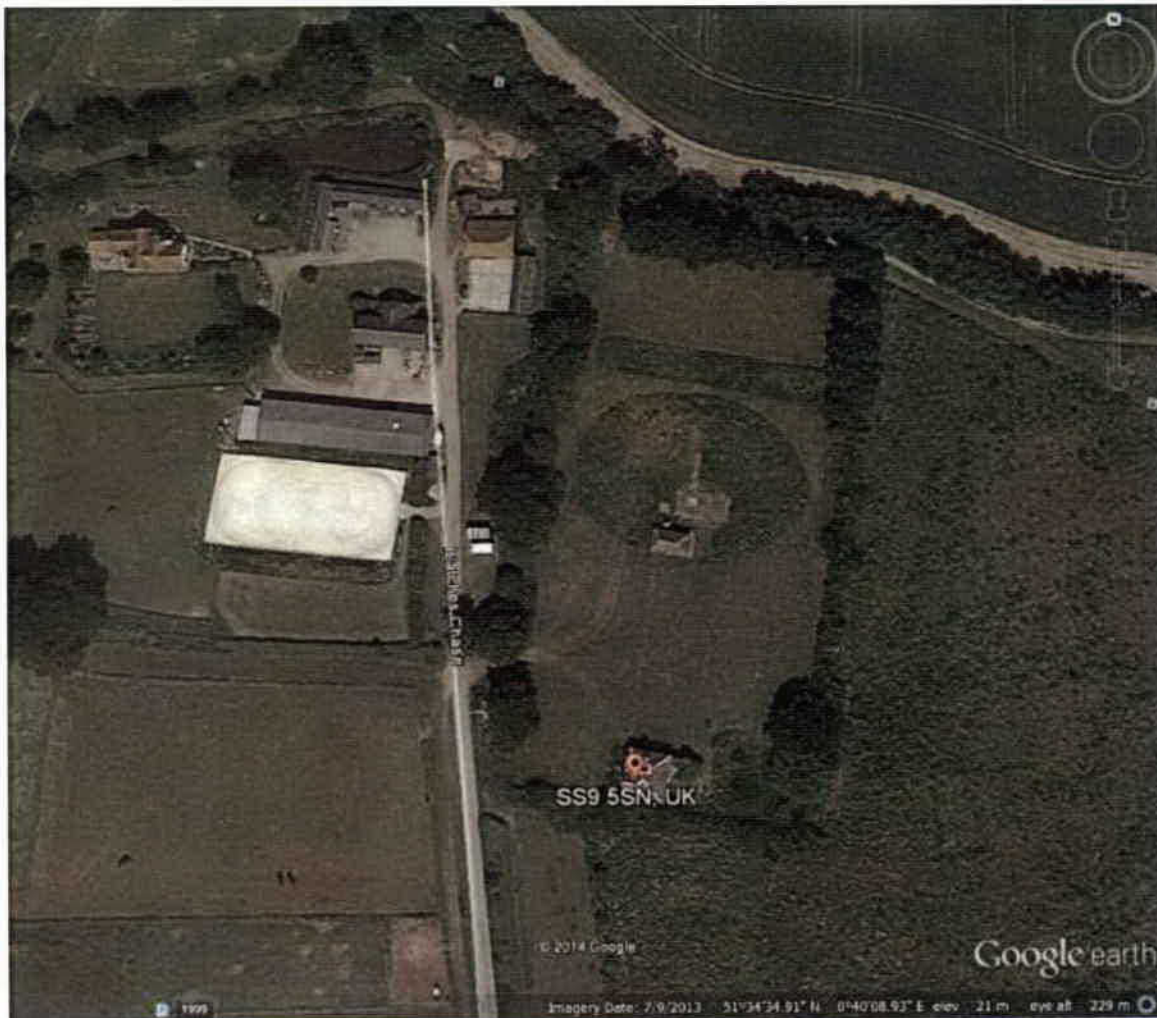


Planning Statement

Introduction:

This application is for permission to erect a pony stable and a separate fenced compound enclosing a small domestic electricity generating solar panel 'farm' and an LPG storage tank on land adjoining, and in association with, the new replacement dwelling given permission under application 15/00525/FUL dated 17.09.2015.

This submission follows preliminary discussions with Katie Rodgers, Senior Planning Officer at a meeting 10.11.2015 and acts on her advice offered.



Aerial view of the application site, surrounded by the woodland planting scheme and nearby Blatches Farm

The site is the northern half of a 2-acre plot on designated Green Belt land. The Southern half is designated domestic curtilage of the replacement dwelling by the permission granted.

Existing and proposed uses of the land:

The last recorded use of the land is that it was a Waterworks deep well pumping station until it ceased operation at some point in the 1970's. The pump keeper's cottage remained occupied by a tenant until Mr and Mrs Whiting, this applicant purchased the land in 2007 and from then until the present day they have kept the grass cut and managed the land while seeking to obtain a successful permission for a new replacement dwelling.

This application site lies outside the curtilage area designated domestic garden by the above permission. It is approximately 1-acre in area and entirely suitable for keeping and sheltering a pony, for the sole pleasure of the owner/ occupier; with direct access to bridleways.

A smaller area 10m x 10m, immediately behind the remaining former pump control building where there also exists an immovable hydraulic pressure vessel, has been identified as suitable for siting and screening ground level domestic solar energy panels and an LPG cylinder storage tank as part and parcel of compliance with Conditions on the permission for the new dwelling.

Pony Stable:

The proposed pony stable is illustrated and sited against the western boundary on submitted drawing ref: 1410-308; size 3.6m x 4.5m with a front overhang, 3m max. height, as recommended by the British Horse Society for one horse or pony. In this site location it backs onto an existing, larger stable building on adjoining Blatches Farm land and as such will have little or no impact on the openness of the Green Belt, rural setting.

Services Compound:

Normally, siting of domestic solar panels and fuel storage tanks comes under Class E of the current GPDO; but in this case permitted development rights are removed by condition on the above referred approval. In addition, for the least possible impact on the amenity of the approved dwelling, the amenity of adjoining private land and of adjoining public spaces, these facilities are best located immediately with the existing building of former public utility uses. The existing building now falls within domestic curtilage however, the proposed facilities attached are on land outside domestic curtilage and hence necessitate this planning application.

The proposed provision of PV solar panels correspond to the means to discharge Condition 8 on 15/00525/FUL - to offset target carbon emissions in compliance with Sustainable Homes, Code Level 4 requirements. In this case the array is proposed in a 'farm' enclosed and screened by a 1.2m high fence and achieve the minimum visual impact.

After lengthy research, the proposed use of liquid gas fuel (in lieu of the previously proposed wood pellet biomass, or any other 'carbon-friendly' solution, eg: ground-source energy), in the absence of piped natural gas, in this case is considered to be the least obtrusive in terms of ground disturbance, installation resources and heavy fuel deliveries. The level of energy conservation in the new dwelling in compliance with Code Level 4 is such that the boiler output requirement for the whole house will be a mere 12kw (to 20kw absolute peak demand). Therefore, an LPG storage tank capacity of 2000litres is all that is required and must be set a minimum distance of 3 metres by regulation, from the existing building being used to screen it. Access is possible via the existing site access and the proposed drive.

Ian Harrington 02.12.2015

Harrington's Architecture and Design Ltd
Truro House 2 Burrows Road Earls Colne Essex CO6 2RZ tel: 07772 232152