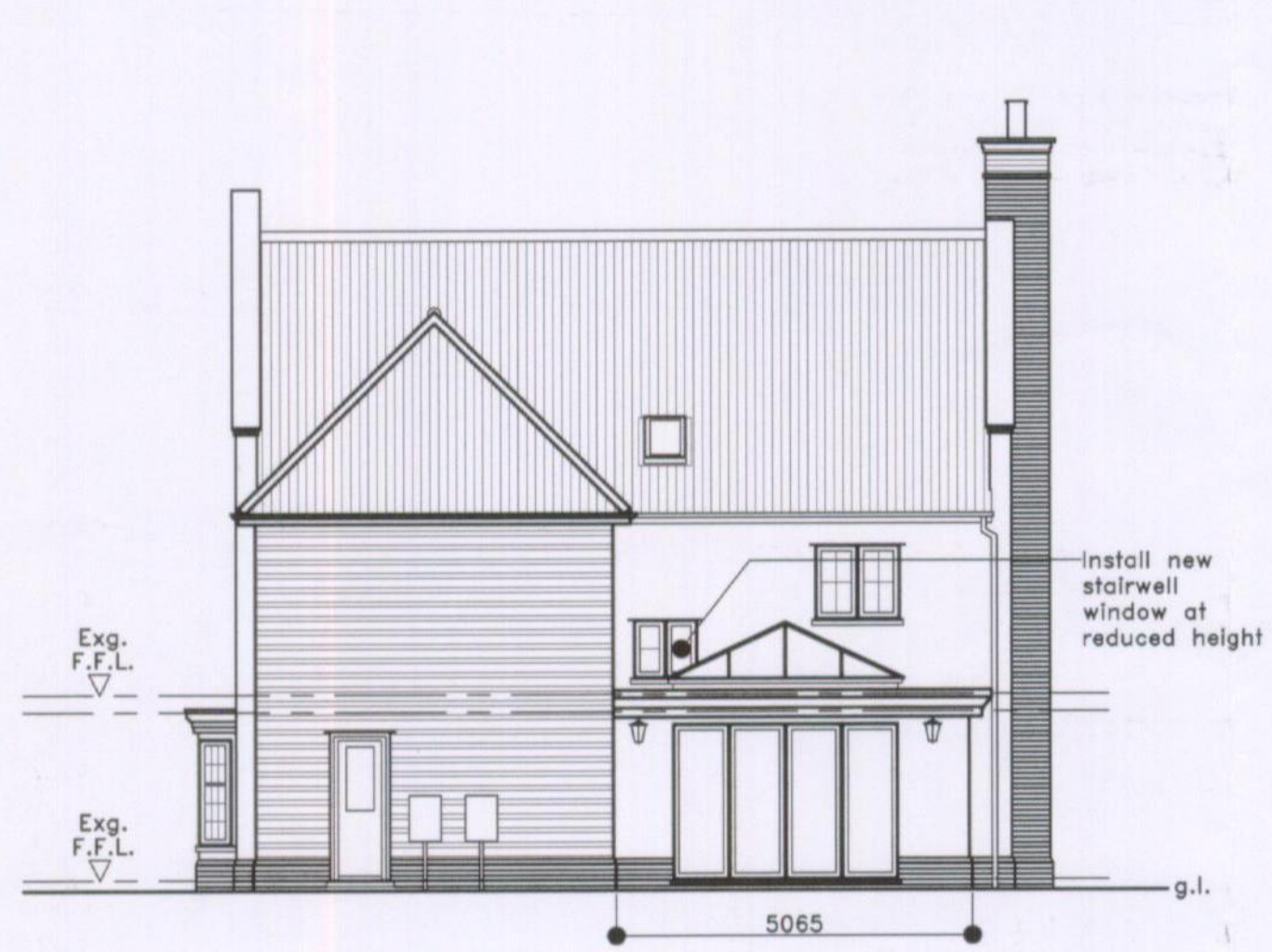


ROCHFORD DC  
APPROVED PLAN



PROPOSED SIDE ELEVATION (SOUTH)



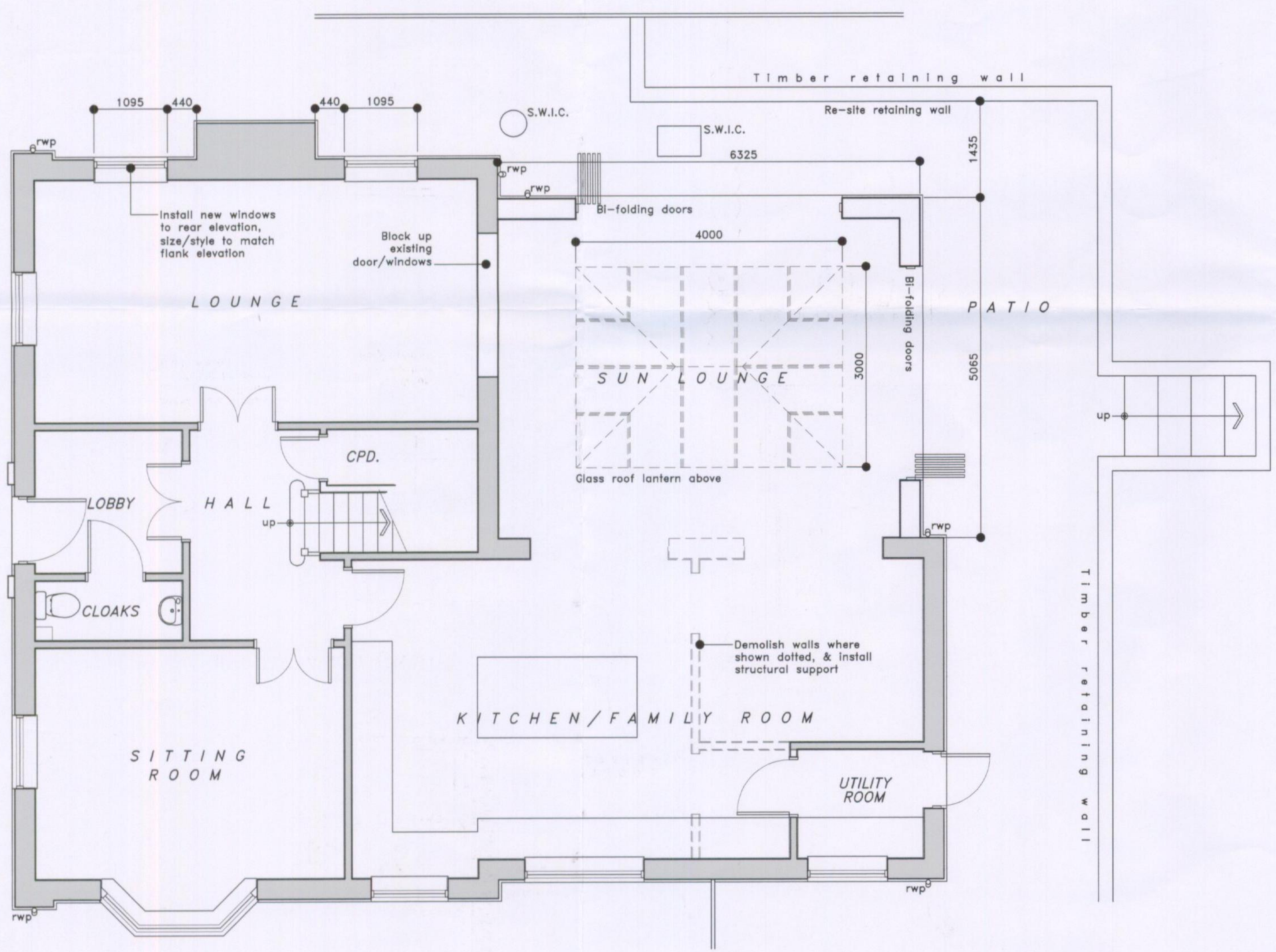
PROPOSED REAR ELEVATION (EAST)



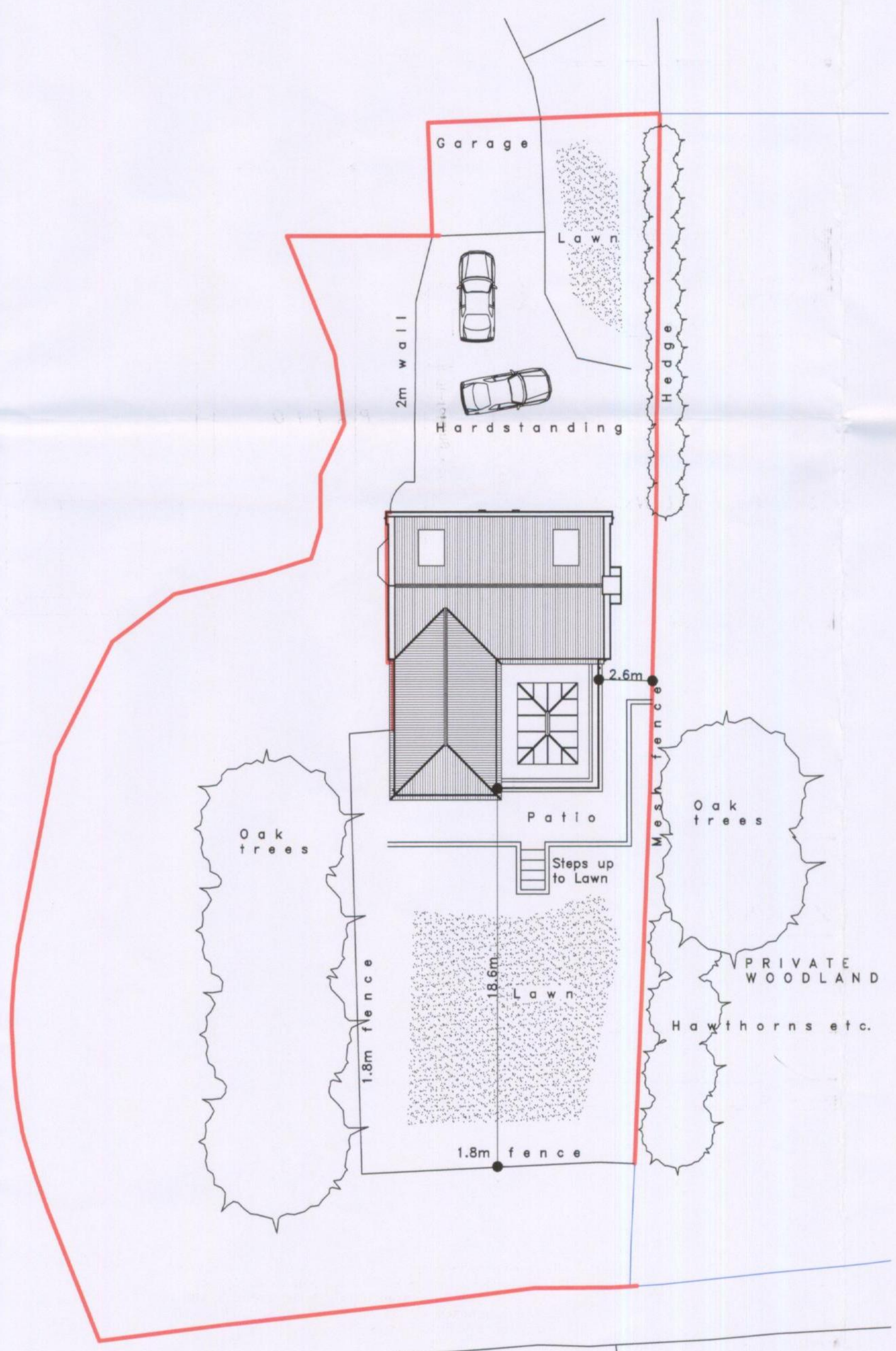
PROPOSED SIDE ELEVATION (NORTH)



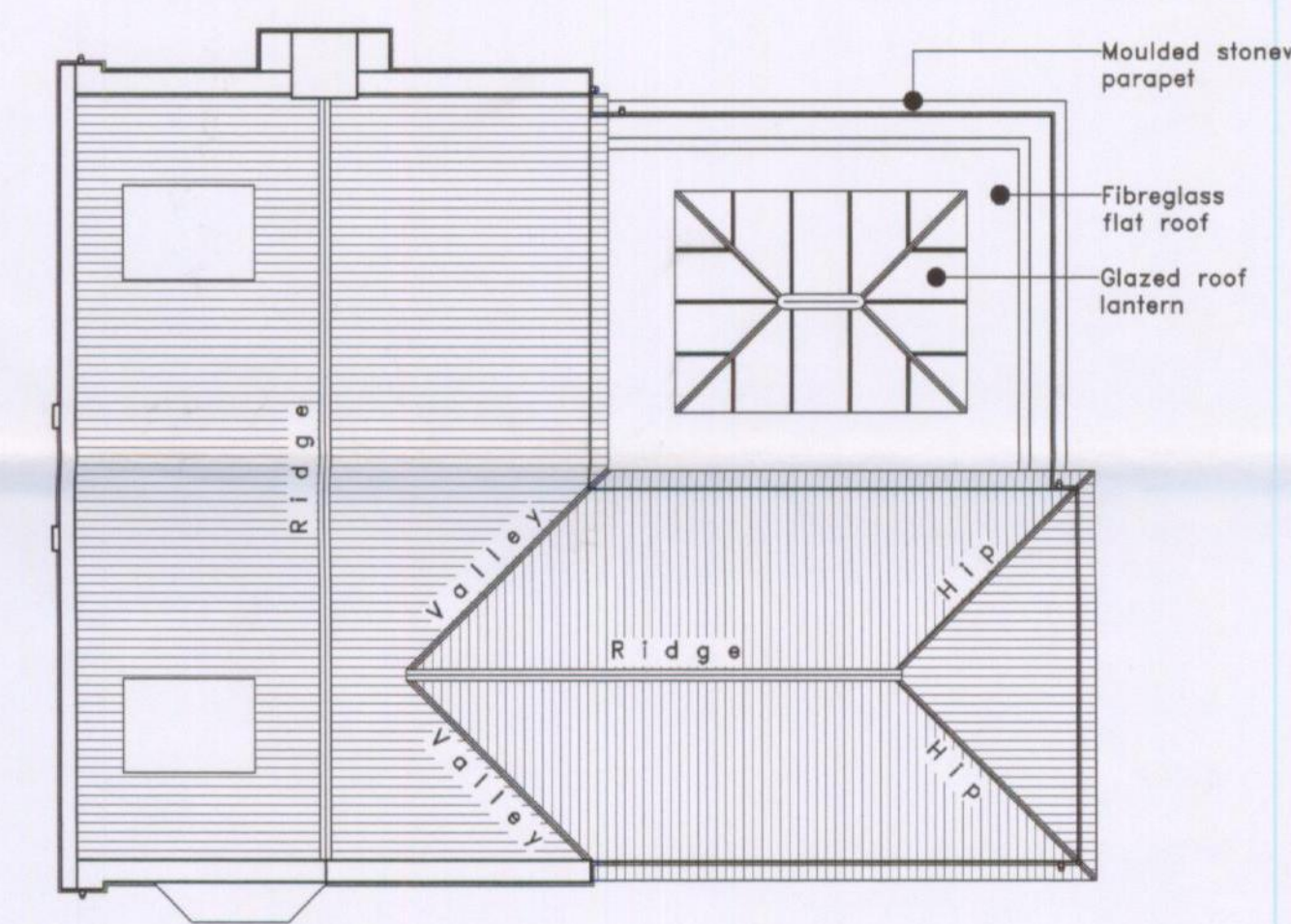
PROPOSED FRONT ELEVATION (WEST)



PROPOSED GROUND FLOOR PLAN



BLOCK/SITE PLAN  
SCALED 1:200  
APPLICATION SITE OUTLINED IN RED  
Approximate dimensions to boundaries  
as indicated



PROPOSED ROOF PLAN

NOTES

Construct new Orangery style extension to the rear of the property. Demolish existing rear walls & internal partitions to form open plan Family Room & Kitchen. Addition of two new windows to rear elevation of existing Lounge.

Materials:  
New walls to be cavity work with facing brickwork plinth to match existing, render and decorate above.  
Roof to be fibreglass system concealed behind stonework parapet to perimeter, with central glass roof lantern.

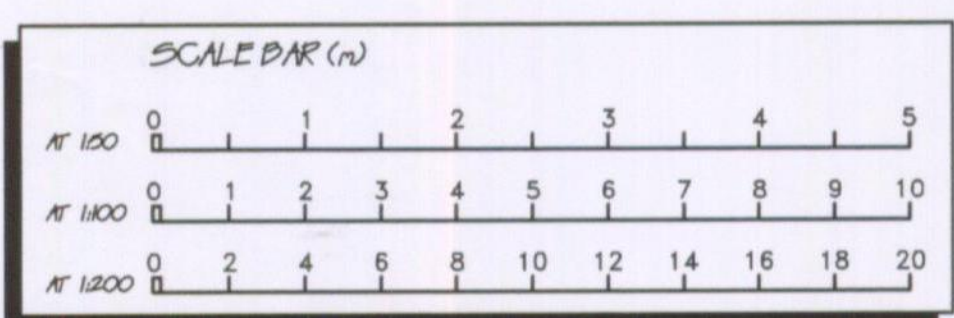
BI-folding doors to extension to be powder coated Aluminium.  
New windows to Lounge to be uPVC double glazed, style to match existing.

General:

All dimensions are approximate and must be checked by the contractor prior to commencement of works. All works must be undertaken strictly in accordance with any conditions imposed by the local authority planning and building control departments.

This is not a technical specification but is solely for the purpose of obtaining local authority planning consent. Internal room dimensions are approximate, taking into account wall finishes etc.

Party Wall Act 1996  
As required under the Party Wall etc. Act of 1996 the building owner should serve notice on any affected Party Wall neighbour including details of the proposed works, start date, building owners name and address and address where the work is to be carried out. This should be accompanied by a statement confirming that the notification is served as "notice under the provisions of the Party Wall etc. Act 1996"



RECEIVED  
08.04.2013  
Support Services

**ROB PARISH**  
B.ENG (HONS.)  
DESIGN & PLANNING SERVICES  
TEL. 07759 239490  
Email: rob@rapdesign.orangeshome.co.uk

CLIENT: MR & MRS LOCKE  
39 ETHELDRE AVENUE  
HOCKLEY  
ESSEX

PROPOSAL: SINGLE STOREY REAR EXTENSION & ALTERATIONS

TITLE:	PROPOSED FLOORPLANS, ELEVATIONS & LOCATION PLAN
DRAWN/RSP	CHK: DATE: 19/03/13 REF:
No:	13-026-PP-02 SCALE: 1/50, 1/100 & 1/150
REVISIONS:	
02	02/04/13 External finish now render. Block plan added
ISS:	DATE DESCRIPTION