

# CONVENIENCE STORE | RAYLEIGH

## Design & Access Statement

Produced by  
**Hadfield Cawkwell Davidson**

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Support Services

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Hadfield Cawkwell Davidson

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# Introduction

The purpose of the report is to accompany the Planning Application for the conversion of a vacant ground floor retail unit, into a new convenience store at 139-141 High Street, Rayleigh.

It is intended that this report, alongside drawings submitted with the application, will form the framework for the development of the site.



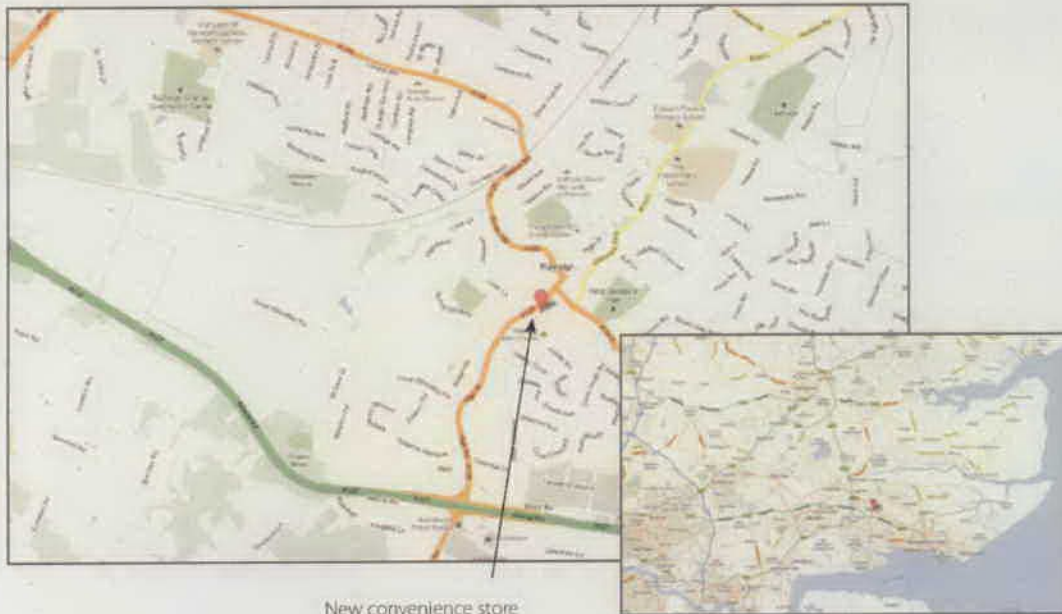
View of rear elevation from Castle Close showing existing adjacent plant.



View of Shopfront facing Kings Street

# Site Location

The site is located in the market town of Rayleigh in the district of Rochford, Essex.  
The premises are located in the centre of town, a busy shopping area with a mix of architectural styles.



The premises comprise of a vacant ground floor retail unit located at 25-27 King Street. The mid 60's block includes two stories of commercial premises above. There is no car parking, however it is located on a regular bus route.

The site is bounded by:

## **The North**

Retail & commercial properties, High Street.

## **The South**

Retail, commercial & residential properties.

## **The East**

Retail & commercial properties, seafront.

## **The West**

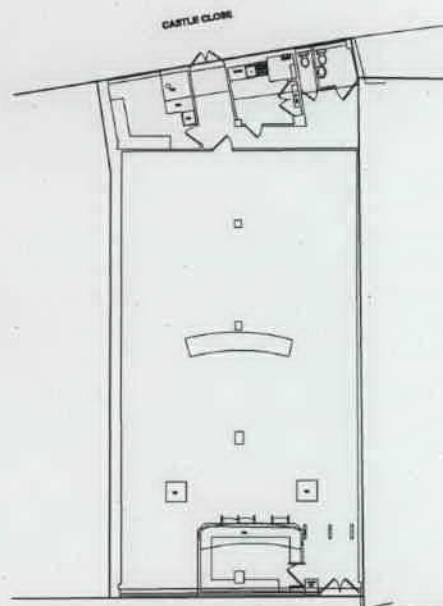
Retail & commercial properties.

## Site Access

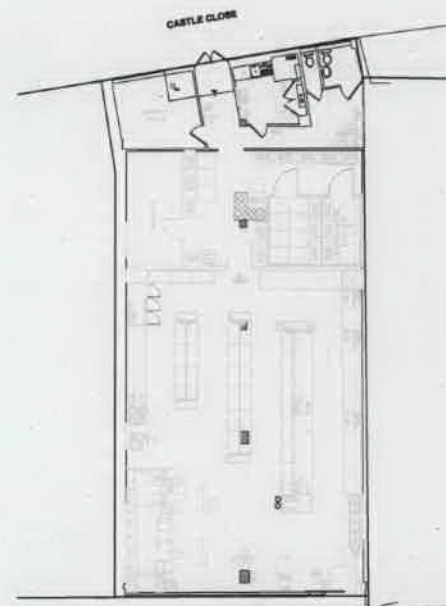
**The existing site vehicular access is unaffected by this application.**

# Design

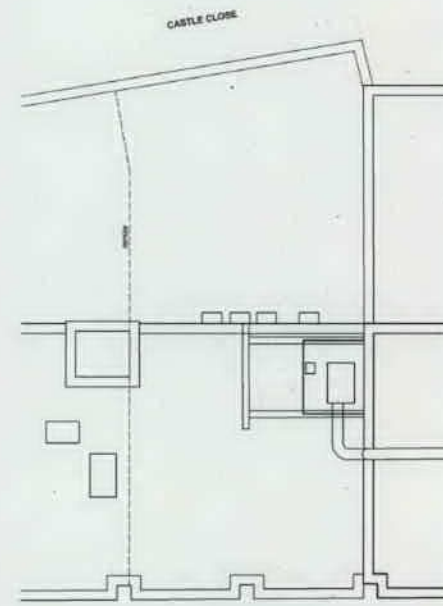
The ground floor will be refurbished throughout to form the new convenience store with installation of associated external rooftop plant to the rear of the property.



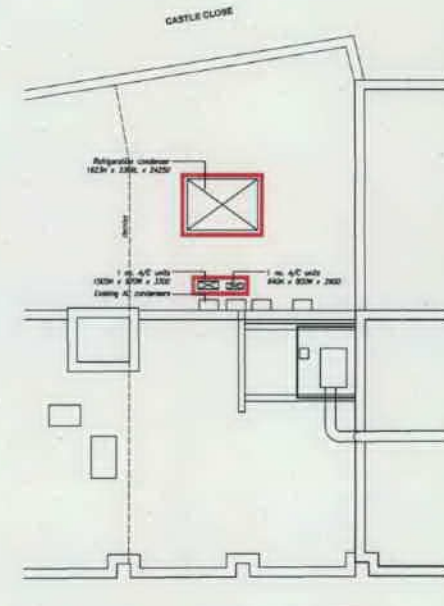
Existing Ground Floor Plan



Proposed Ground Floor Plan



Existing Roof Plan



Proposed Roof Plan



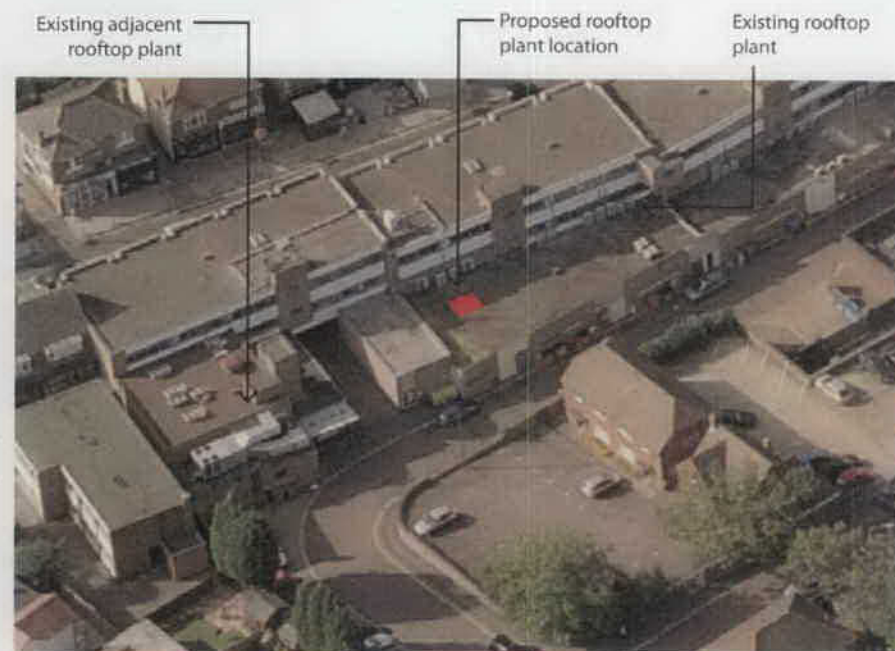
# Design

## The proposal:

- Refurbishment of existing ground floor retail space.
- Installation of rooftop mechanical plant to the rear of the premises.
- New signage (subject to separate Advertisement Application).

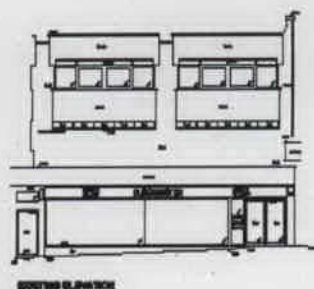


Existing view from Castle Close

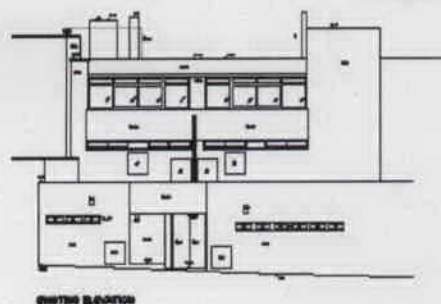


Aerial View

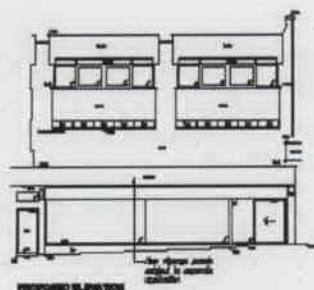
# Design



EXISTING ELEVATION

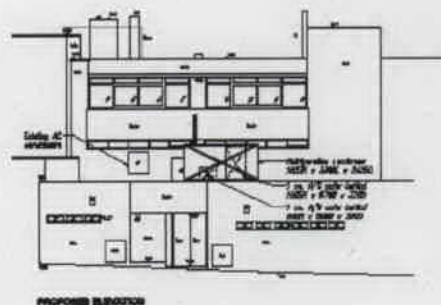


EXISTING ELEVATION



PROPOSED ELEVATION

Existing & Proposed North West Elevation



PROPOSED ELEVATION

Existing & Proposed South East Elevation



View of rear elevation



# Access Statement

**This statement forms part of the Planning Application for the new convenience store.**

## **Introduction**

The proposed store layout and public access will comply with the current Building Regulations Approved documents, British Standards and the requirements of the Disability Discrimination Act.

We outline our strategy for complying with these as follows:

## **Approach to the Building:**

The existing access will be maintained.

## **Access into the building:**

The main entrance doors retain their level threshold. The appropriate signage and manifestation as recommended in BS 8300 will be installed.

# Contacts

## CLIENT

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## ARCHITECT

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