

Date: 10th May 2013
Ref: MTP/LC/3.1

Rochford District Council
Planning Department
3-19 South Street
Rochford
Essex
SS4 1BW

For the attention of Mike Stranks

Dear Mike

RE: BRAYS LANE, ROCHFORD
APPLICATION NO: 12/00398/REM

Further to receipt of the Approved Reserved Matters document dated 9th November 2012, and our subsequent conversation on 7th May 2013, we would like to formally supply full information to address the conditions on the Reserved Matters Application.

Enclosed is a cheque for the sum of £85.00 made payable to Rochford District Council, for the condition approval.

Our Condition Submission covers the following points:

Condition 1

This is a statement.

Condition 2

We have had various conversations about materials, and we have enclosed a copy of the latest Materials Schedule, indicating the materials as previously submitted under the Outline Application. See schedule 1275/109 Rev F, also enclosed are the working drawing elevations addressing render stops and window styles, No. 120 Rev I, 126 Rev I, 128 Rev F, 131 Rev J, 135 Rev I, 140 Rev J, 145 Rev J, 151 Rev F, 155 Rev I, 160 Rev H, 165 Rev I, 170 Rev I, 175 Rev I, 180 Rev F, 185 Rev G, 190 Rev E.

Condition 3

We have the pleasure of enclosing the latest landscaping scheme, indicating species and size of hedge rows, the existing tree report which, the external works plans indicating the paved and hard surfaced areas on the site, together with the Civil Engineers design for the same. The external works plan indicates the enclosing boundary treatments to houses and also the utility plans indicating the location of power, drainage and communication cabling structures on site. Drawing No. 1275/101 Rev F, 102 Rev G, 103 Rev G, 104 Rev G, 105 Rev G, 106 Rev H, SD(9.2)11 Rev A, SD(9.2)03 Rev A, SD(9.2)09 Rev A, SD(9.2)05 Rev A, and landscaping drawing No. 7450-1 Rev D, 3 Rev J, 4 Rev J, 5 Rev J, 6 Rev J, H143-303 Rev B, Liz Lake Fencing Detail, Utility Layouts D917CU 1 Rev D, 2, Rev D, 3 Rev D & 4 Rev D.

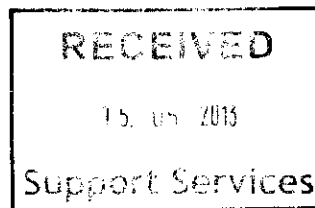
Condition 4

Details of the school access gates to be provided for approval. With regards to this condition we have the location of the school gates highlighted on the external works plan, details of these gates will be mesh fencing system similar to the perimeter fence, details of which are enclosed. Please refer to External Works plan and Liz Lake Fencing detail.

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Condition 5

We have enclosed the external works fencing plans and we would point out we have had various conversations with your Arboricultural Officer regarding the existing trees on the eastern boundary. The current trees are Hawthorne trees to the rear half of the eastern boundary and these have been badly damaged by horse grazing. It was agreed by all parties at a site meeting late last year that these trees were not good specimens mainly because of horse grazing and that they would not be an ideal plant to be retained within enclosed gardens, however when the time comes to work on this boundary, which is one of the later

phases this will be reviewed by the Arboricultural Officer to ensure that the appropriate trees that have some structural shape will be retained and any replacement planting could be agreed at the time.

Condition 6

This is a statement and has been installed on site, which can be seen at any time should you wish to visit the site.

Condition 7

We have enclosed copies of the working drawings for these housetypes indicating conformity to Lifetime Home standards. With regard to wheelchair compliant units, these are the ground floor maisonettes called 2B4P, of which there are 12 that have been designed with GF unit as wheelchair compliant. Please refer to HA65 plan for circulation space indication. Should you require further information please ask.

Condition 8

This is a statement and these details are replicated on the external works drawings.

Condition 9

We have enclosed copies of the Section 278 roundabout plan together with the landscaping scheme indicating the formation of a new hedge to the north side of the roundabout as requested. Installation of this landscaping will be subject to seasonal planting which will be the autumn of this year. See H143-700 Rev G.

Condition 10

As you can see from the landscaping scheme, we have indicated that the potential southern hedge and any existing apertures that were there for previous usage will be in filled to make a continuous hedge row, expect for where we have a pedestrian or vehicular access within the scheme.

Condition 11

We have enclosed details of the Myson solar thermal panels we are proposing on this site, together with the working drawings indicating their location to each plot. Please refer to elevations and Myson details.

Condition 12

With regard to any fencing, we have indicated these on our external works plans, of which copies are attached for your approval.

Condition 13

We briefly indicated that there will be the existing temporary hard standing and access the field will be our initial point of entry as this has been replaced as the road ways are developed on the site and the main access road from the roundabout in to the site towards the site compound and welfare facilities have been constructed to fulfil this condition.

Condition 14

We have enclosed a copy of our initial site location and welfare and materials store, and the one we are currently forming on site. (See plan "Compound")

Condition 15

This was addressed under the Outline Application that wheel washing was provided on site until such times as the finishing carriage way has been formed to provide a clear running surface. This has now been undertaken and our road sweepers will be addressing the on site mud to ensure Brays Lane is kept free. As you are aware we have and will continue to monitor this within Brays Lanes and if a road sweep is require this will be undertaken, until such time as necessary.

Condition 16

This condition is a statement. We would point out that works have been progressing on site and the majority of roadways on site and foot ways have been constructed to ensure segregation of people and vehicles provides a safe access.

Condition 17

We have enclosed copies of the Section 38 plan (H143-301 Rev D) and external works together with the lighting scheme (LOR300512-41R4), indicating adoptable, private, permeability on footways throughout the site, together with the lighting scheme which is either private under management company or part of the adoptable carriage way lighting which we hope meets with your approval.

Condition 18

We have on our external landscaping plans indicated trees and species and the requirements of a linear roof barrier which we trust meet with your approval.

Condition 19

This is a statement.

Condition 20

The working drawings of these units are attached and as you can see we have made sure that we are specifying appropriate glazing as per the planning consent. Please refer to Drawing No. 1275-175 Rev I & 176 Rev G.

Condition 21

Details of these are indicated on the Civil Engineers layouts that are enclosed and we trust they meet with your approval. Drawings H143-480 & 470 A.

There is a substantial amount of information enclosed within this letter, and there are some duplications on the condition, details submitted at the outline planning consent stage. However we trust that there is adequate for you to provide a full list of discharge of these conditions however should you wish run through any of these matters please do not hesitate to contact the undersigned.

Yours sincerely

BELLWAY HOMES LIMITED (ESSEX DIVISION)

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