

Your ref: 05/00332/FUL  
Our ref: AB/263-110  
dd: 01245 253 388  
df: 01245 251 214  
e: abutcher@bidwells.co.uk  
Date: 17<sup>th</sup> November 2006

**BIDWELLS**

Mr M Stranks  
Rochford District Council  
South Street  
Rochford  
Essex SS4 1BW

Steeple House  
Church Lane, Chelmsford  
Essex CM1 1NH  
t: 01245 250998  
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bidwells.co.uk

Dear Mr Stranks

**Roche Close, Rochford**

I refer to our telephone discussion on 13<sup>th</sup> November 2006 and the recent issue of the planning permission in respect of the above.

As you will be aware, my clients are anxious to seek your approval of conditions for the development as a matter of some urgency. There has been a continuous exchange of correspondence on a number of the conditions. In an attempt to update matters on Condition 3, I enclose a copy of the following drawings showing the most up to date list of intended or agreed materials:-

04-595-C-205 C11	Block C North and East Elevations
206 C14	Block C West and South Elevations
207 C13	Block C Courtyard North and South Elevations
A-110 C9	Block A Front and Side Elevations
A-111 C7	Block A Rear and Side Elevations
A-112 C7	Block A Internal Elevations


You will note that the drawings refer to Monocourche Render. You will recall that a sample panel of traditional render was agreed on site with Robin Carpenter on 28<sup>th</sup> September and this is to be the finish but with the colours set out on the drawings. The drawing also refers to the Marley Smooth red tile. We suggested substitution of that tile with the Marley Ashmore and are awaiting confirmation or approval.

We are of course, aware that some of the window types shown on the drawings are currently unacceptable to you as set out in your letter of 19<sup>th</sup> October 2006.

I would also draw your attention to my letter of 22<sup>nd</sup> May 2006 with enclosed plans relating to the revisions to the turning area and details of landscaping which are awaiting confirmation or approval.

I have arranged a meeting with you at 2.30pm on Friday 24<sup>th</sup> November. I have prepared the attached summary of my understanding on the submission of details for Conditions to assist our discussions and seek your advice and requirements to resolve outstanding matters. I look forward to seeing you then.

Yours sincerely

  
**Andrew Butcher**  
Senior Associate

Enc

Copy: Matt Oates, Barratt Eastern Counties



Offices: Cambridge Chelmsford London Ipswich Milton Keynes Northampton Norwich  
Saffron Walden Manchester Castle Howard Perth Inverness Fort William  
A full list of partners is available for inspection at the above address



INVESTOR IN PEOPLE



**MARKET SQUARE/ WEST STREET, ROCHFORD**

**PLANNING CONDITIONS FOR APPLICATION 05/332/FUL**  
**RESIDENTIAL DEVELOPMENT/SUPERMARKET**

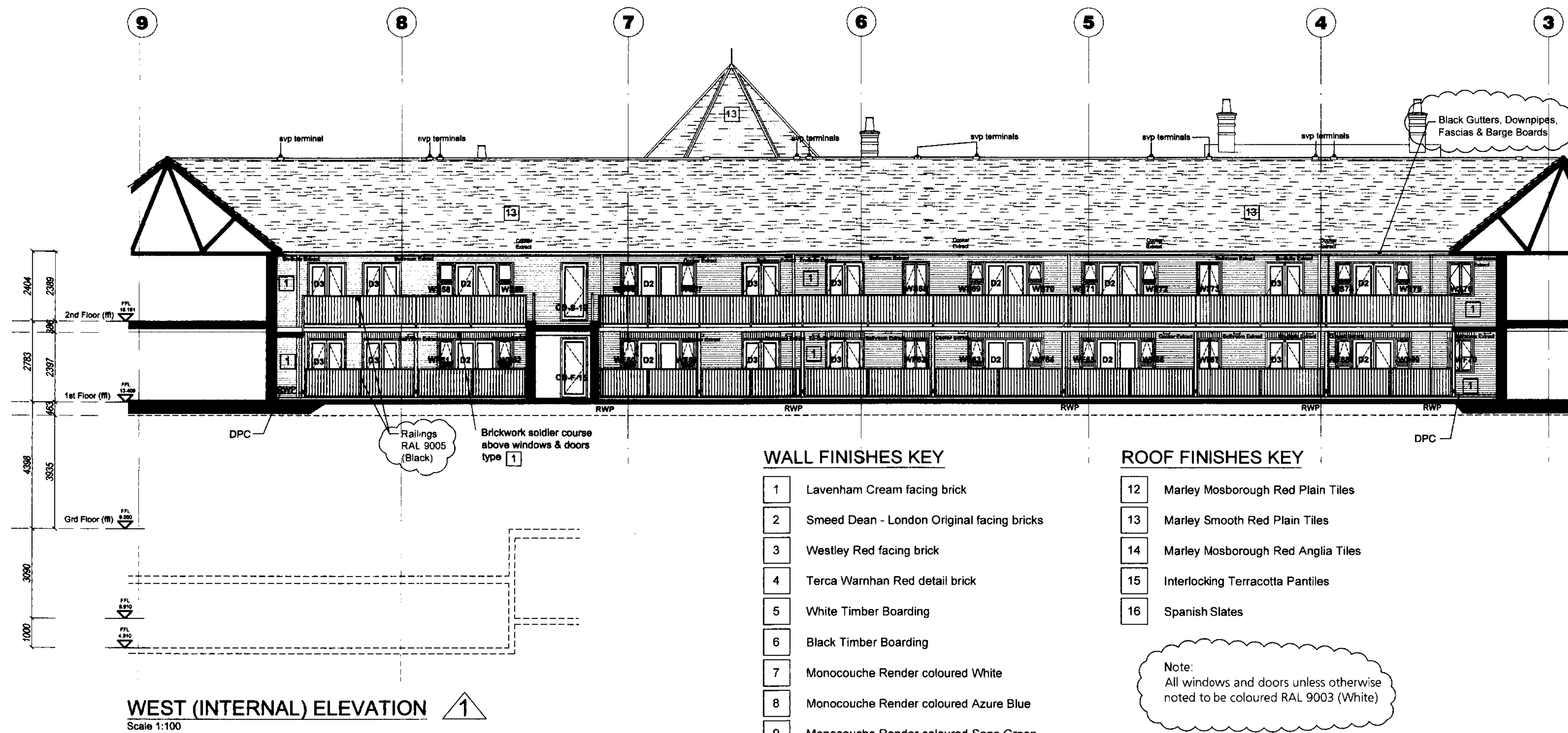
Update 16/06/06

	<b>CONDITION</b>	<b>WHEN</b>	<b>WHOM</b>	<b>Progress</b>
1	Time limits	Commence 5 years	-	N/A
2	No redevelopment consisting of the demolition of the buildings marked Roche 1 and Roche 2 shall commence before a <b>contract for the carrying out of works for the redevelopment of the site has been entered into</b> and the necessary Conservation Area Consent has been granted for said demolition	Before commencement	Barratt	Complied
3	<b>Samples of materials</b> – external facing including doors and windows and roofing materials	Before commencement	Barratt	Materials so far agreed by RDC; e-mails 7/10/05 & 27/10/05 or verbally but awaiting formal clearance. These are:- <u>Walls</u> Smeed Dean – Kent Yellow Multi Westley Red Lavenham Cream Terca Warnham -Terracotta stock (detail) Terca Warnham Red (detail) Painted Render & White and black boarding <u>Roofs</u> Marley Mosborough Red Plain Tile Marley Mosborough Red Anglia Plus Interlocking pantile (note: for use on gf elements only) Spanish Slate  Letter & plans of 17/10/06 sent to RDC to seek formal clearance.
4	Removal of PD rights in relation to the supermarket and restriction to retailing food	-	Retail operator	No action necessary
5	Delivery times for retail between 07.00hrs and 19.00 hrs Monday to Friday, 8.00hrs and 13.00 hrs on Saturday and at no time on Sundays or bank or public holidays	-	Retail operator	No action necessary
6	Close loading bay doors at all times other than during access and egress	-	Retail operator	No action necessary
7	Plant and machinery equipment installed or operated in connection with the carrying out of permission to be enclosed and/or attenuated so that noise does not exceed a noise rating level of 5dB(A)	-	Noise consultant/ retail operator	Links to Condition 8.
8	<b>Scheme for noise attenuation</b> for all development	Prior to the occupation of any premises or dwelling permitted	Noise consultant/ All	Details still to be submitted. Compliance with this condition will require co-ordination. RDC are looking for the scheme to include

				details of noise insulation to dwellings affected by noise from supermarket operations including the loading bay & any plant & equipment that the supermarket may install as well as details of ventilation for those properties requiring ventilation (links to Cond. 10). The EHO contact at RDC is Martin Howlett.
9	The use of the site shall not be open to customers outside the hours of 0700hrs to 2200hrs	-	Retail operator	No action necessary
10	<b>Acoustic specifications</b> of any external equipment or openings in the external walls or roofs of the building proposed at any time in connection with the permitted use	Before commencement	Retail operator	Links to condition 8
11	<b>Air quality assessment</b> be carried out to determine the present and likely future impact of nitrogen dioxide	Prior to the commencement of the development and 6 months after the supermarket first opening	Retail operator	Details still to be submitted
12	<b>All windows to be made of timber</b> with a paint or similar applied finish and details of joinery and fenestration for all shop units	Before commencement	Barratt / Andersons	Window sample & detailed schedule & plans submitted to RDC 11/08/06; letter from RDC advises that top hung vents/fan lights on the schedule 7 plans unacceptable.
13	<b>External security shutters</b> to any part of the commercial premises or residential units including the open fronted car port parking areas and any wrought iron grills or gates	Before commencement	Barratt/ Andersons / retail operator	RDC looking for 1:50 drawings to be supplied.
14	<b>Gates, fences, walls or other means of screening or enclosure</b> to be erected to the boundaries of the site	Before commencement	Barratt/ Mc Arthy Stone	Survey of boundaries and proposed treatment to those boundaries needs to be supplied.
15	<b>Hard and soft landscaping</b> to include existing and proposed planting, hard landscaping, contours, boundary treatment, parking, minor structures and services above and below ground	Before commencement Works implemented in its entirety during the first planting season following the commencement of development	Barratt/ Liz Lake	Hard landscaping shown on Andersons Drg. AG/071/HD1A with RDC for approval. Pavements either saxon natural or buff agreed verbally. Soft landscaping drawing prepared by LL (Drg. 928 01B) and submitted 03/04/06. Revisions submitted 22/05/06 to courtyard area Block C.
16	Loading, unloading, parking and turning of vehicles to be in accordance with details on drawings 04-0595-S-002 T2	Prior to the beneficial occupation of a building	Barratt/ Andersons	
17	<b>Proposed finished floor level</b> in relation to the natural and finished ground level of the site	Before commencement	Barratt/ Andersons	Drg. No. 71/EWL1 supplied to RDC. Verbally advised that unlikely to have objections. Awaiting formal clearance
18	<b>Surface water drainage</b> including attenuation measures	Before commencement	Barratt/ Andersons	Drainage details provided; Drgs AG/071/SD1, DLS1, DL1, DD1, DD2, DD3 & DD4. Awaiting approval. To assist is there any clearance from AW?

19	<b>Foul water drainage</b>	Before commencement	Barratt/Andersons	Drainage details provided; Drgs AG/071/SD1, DLS1, DL1, DD1, DD2, DD3 & DD4. Awaiting approval. To assist is there any clearance from AW?
20	Implementation of a programme of <b>archaeological works</b> in accordance with a scheme of investigation	Before commencement OR any ground works <b>ACTIONED</b>	Essex Archaeology	Complied. Agreed by RDC 12/08/05
21	Provide <b>Travel Information Pack</b> detailing bus and train services, local taxi information and cycle routes to tenants and new residents	First occupation of the site	All	
22	Access to be laid out to the dimensions shown on drawing no SPROCHFORD. 1/01 Rev A to achieve a vehicle carriageway 7.7m wide at the junction tapering down to a width of 6.8m over the remainder of the carriageway length	No requirement but assume as development progresses	Barratt/Andersons	Note: Drawing refers to previous permission rather than the most recent plans but there should be no change to access arrangements on latest drawings.
23	The turning and manoeuvring area for the accessing of the supermarket servicing bay and the turning of vehicles to be laid out as detailed on drawing no 04-0595-S-002 T2	No requirement but assume as development progresses	Barratt/Andersons	
24	<b>Footway</b> provision, turning head and raised area within the limits of the highway to be <b>positively identified on the finished surface</b> of the highway	No requirement but assume as development progresses	Barratt/Andersons	
25	<b>500mm wide overhand strip</b> included in the two access roadways off north street to be <b>widened</b> where possible to include all available land between the strip and the adjacent boundary	No requirement but assume as development progresses	Barratt/Andersons	
26	<b>Crime reduction</b> measures and a programme for their implementation based upon the provision set out in the agents letter dated 30 <sup>th</sup> March 2004	Before commencement	Barratt/Bidwells	Letter of 30/03/04 prepared by Grafik for previous p.p.
27	Basement car park of block A shall be made available for customers to the supermarket and retained for this use between 09.00 hrs and 19.00 hrs on any day. Outside these hours it can be used by the users of the building generally	-	Barratt/Anderson	No action necessary
28	Sheltered housing to Block B shall be restricted to the occupation by persons of not less than 55 years	-	Mc Arthy Stone	No action necessary
29	<b>Footway links</b> with boundaries to the site, to be laid out and available and retained for use up to the western boundary of the site to enable possible future connection from land to the west of the site	No requirement but assume as development progresses	Barratt/Andersons	
30	The use of the floor space of the buildings identified in the application as blocks A,B and C shall be indicated in the submitted application and plans notwithstanding the provisions of Schedule 2, Part 3, Class E of the Town and Country Planning (GPD) Order 1995	-	Retail operator	The purpose of the condition is to restrict use to retail only.
31	<b>Sustainable drainage scheme</b> in consultation with the Environment Agency – development shall not increase the flood risk on or off the site	Before commencement	Barratt/Andersons	Details submitted to EA?
32	The limit of the <b>18 metre long side turn</b> to be <b>physically identified</b> on the ground and any bollards of either fixed or collapsible design to be sited clear of the vehicular way	-	Barratt/Andersons	
33	A <b>minimum overhang strip 0.5m wide</b> to be	-	Barratt/	

	provided on both sides of the side turning leg and with 50mm high face and no obstruction within or above the overhand strip		Andersons	
34	The flanks of the buildings located either side of the side turn leg shall be constructed to withstand vehicle impacts	-	Barratt/ Andersons	Engineering drawings prepared & submitted to ECC Highways for approval?
35	The parking, turning and off loading facilities shall be provided to LPA specifications and supplementary guidance	-	Barratt / Bidwells/ Andersons	Needs clarification from RDC as details shown on submitted plans.
36	<p>The <b>carriageway</b> and footpaths of the proposed estate road to be laid out and constructed up to at least road base level</p> <p>Base course to be maintained to avoid upstands to gullies, covers, kerbs or other such obstructions within or bordering the footway</p> <p>Carriageway, footways and footpaths commensurate with the frontage of each dwelling shall be fully completed with final surfacing</p>	<p>Prior to the commencement of the erection of any residential development</p> <p>Within twelve months from occupation of the dwelling</p>	Barratt/ Andersons	
37	A 1.5m x 1.5m pedestrian visibility sight splay, to back of the footway/ overhang margin, to be provided to vehicle accesses. No obstruction above a height of 0.6m within the area of the pedestrian visibility sight splays	Prior to use or accesses	Barratt/ Andersons	
38	Any <b>private accessway</b> to be treated with a bound surface dressing	-	Barratt/ Andersons	
39	<b>Parking, storage and battery charging provision for electric mobility vehicles</b> associated with residents of the sheltered accommodation in Block B	Prior to the commencement of the building of the shelter housing identified as block B AND shall be implemented prior to its first occupation	McArthy Stone	McArthy Stone to deal with as part of their subsequent p.p RDC will clear the condition on this basis.
40	Notwithstanding condition 15 of this consent the applicant shall submit <b>details for the planting of streets</b> to the pedestrianised area between Blocks A and B.	Implementation during the first planting season following occupation of the buildings A and B	Barratt/ Liz Lake	See comments on Condition 15 above.



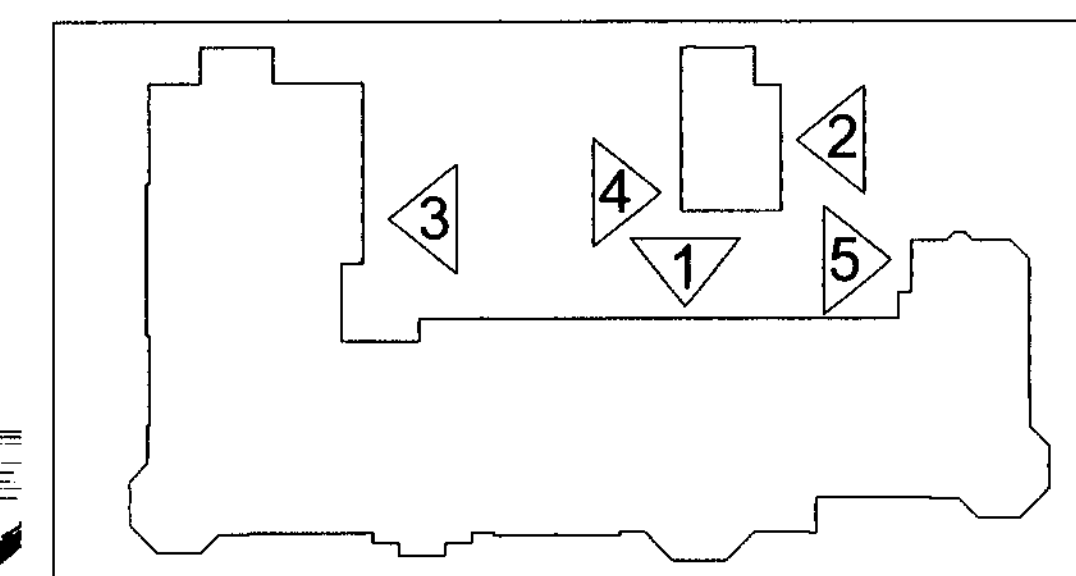
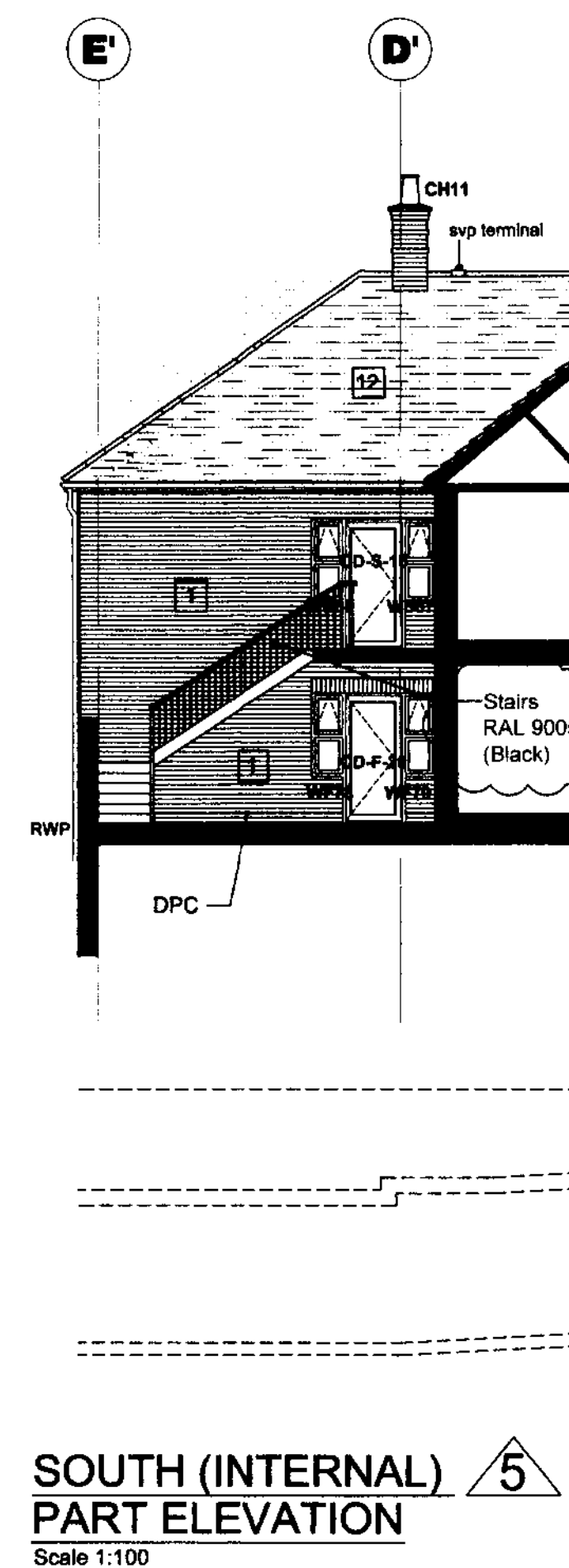
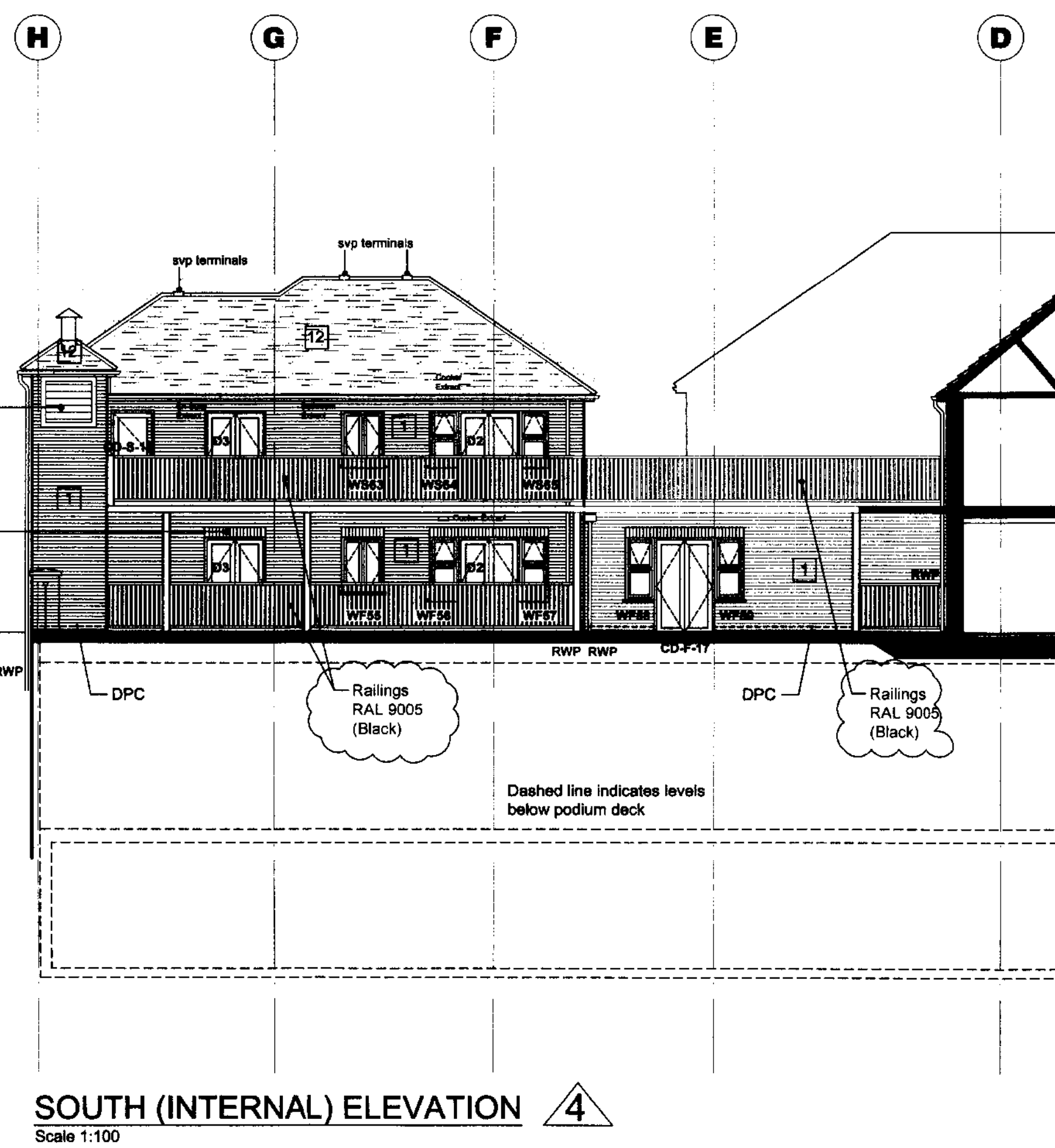
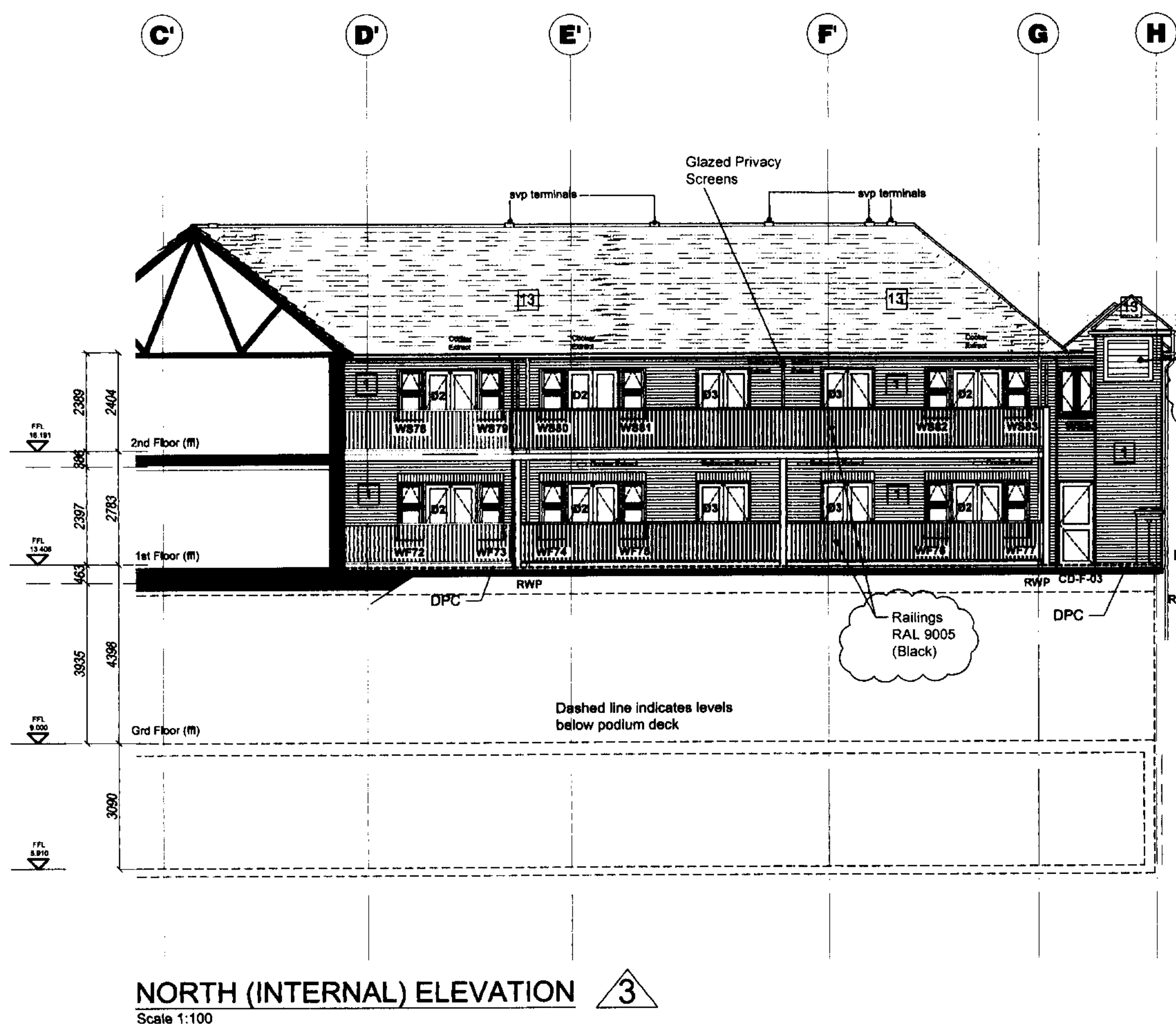
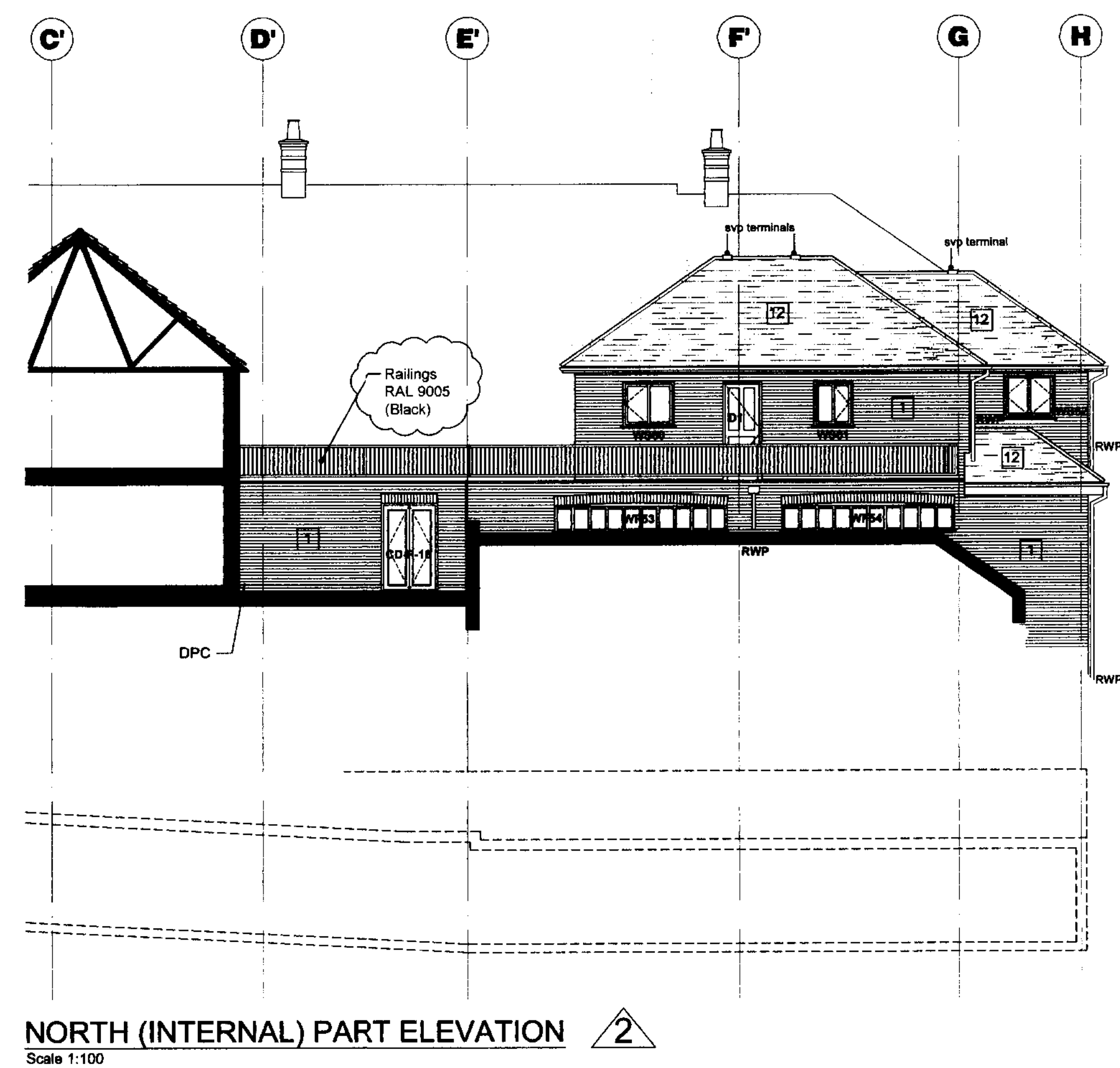
#### WALL FINISHES KEY

- |    |                                            |
|----|--------------------------------------------|
| 1  | Lavenham Cream facing brick                |
| 2  | Smeed Dean - London Original facing bricks |
| 3  | Westley Red facing brick                   |
| 4  | Terca Warnhan Red detail brick             |
| 5  | White Timber Boarding                      |
| 6  | Black Timber Boarding                      |
| 7  | Monocouche Render coloured White           |
| 8  | Monocouche Render coloured Azure Blue      |
| 9  | Monocouche Render coloured Sage Green      |
| 10 | Monocouche Render coloured Rose Amber      |
| 11 | Monocouche Render coloured Parchment       |

#### ROOF FINISHES KEY

- |    |                                    |
|----|------------------------------------|
| 12 | Marley Mosborough Red Plain Tiles  |
| 13 | Marley Smooth Red Plain Tiles      |
| 14 | Marley Mosborough Red Anglia Tiles |
| 15 | Interlocking Terracotta Pantiles   |
| 16 | Spanish Slates                     |

Note:  
All windows and doors unless otherwise noted to be coloured RAL 9003 (White)



## CONSTRUCTION

C7	23/10/06	Additional colours added as highlighted	be
C6	16/03/06	Line of Dpc clarified/added	RB
C5	28/02/06	Window ref amended, window rel's added	be
C4	23/02/06	Type 14 roof tiles amended on upper roofs all elevations	be
C3	01/02/06	Materials key added and finishes updated	be
C2	26/10/05	General updates	be
C1	02/09/05	RWP's added, roofs gen updated as clouded and issued for construction	be

Rev No	Date	Amendment	Initials
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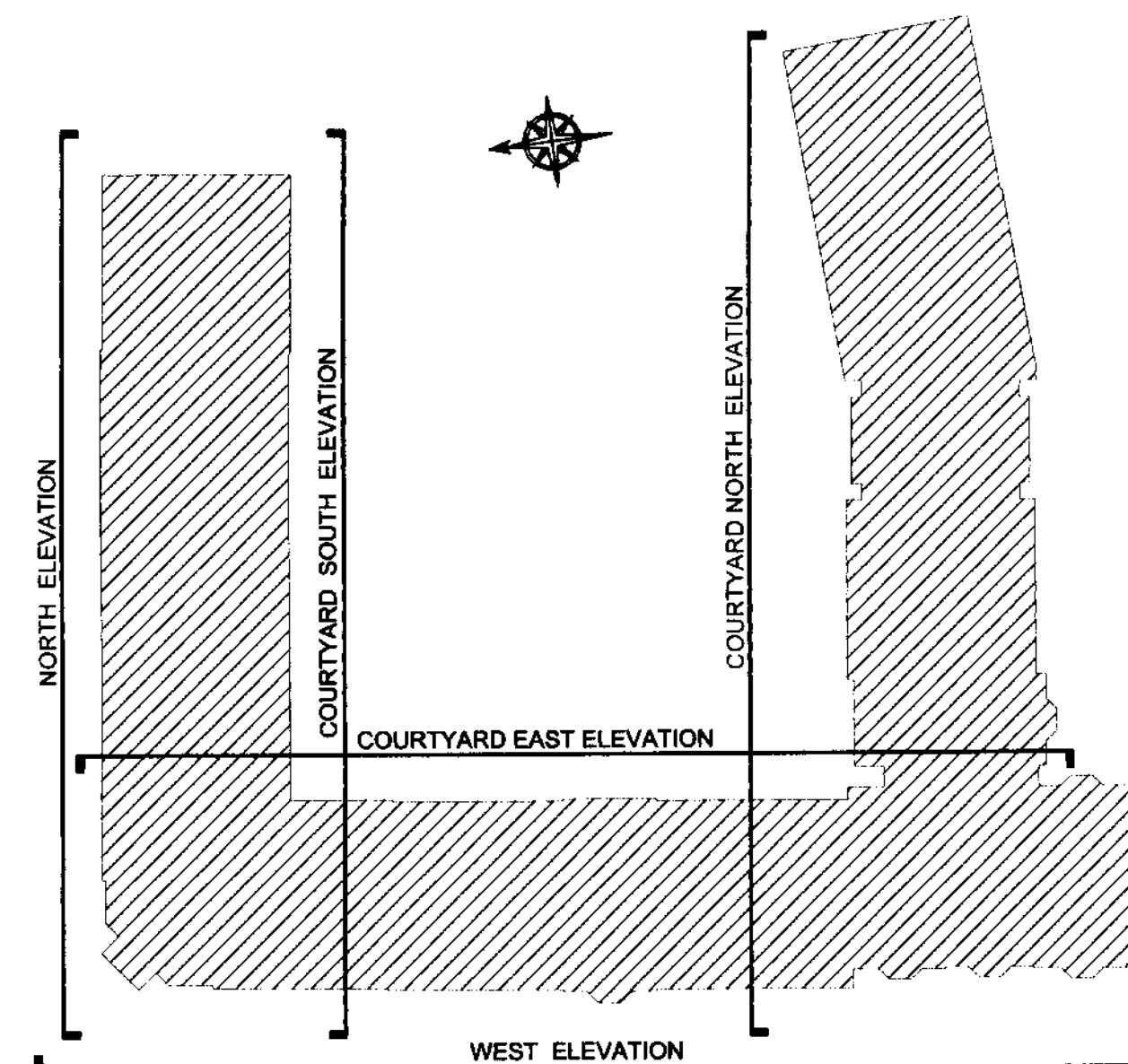
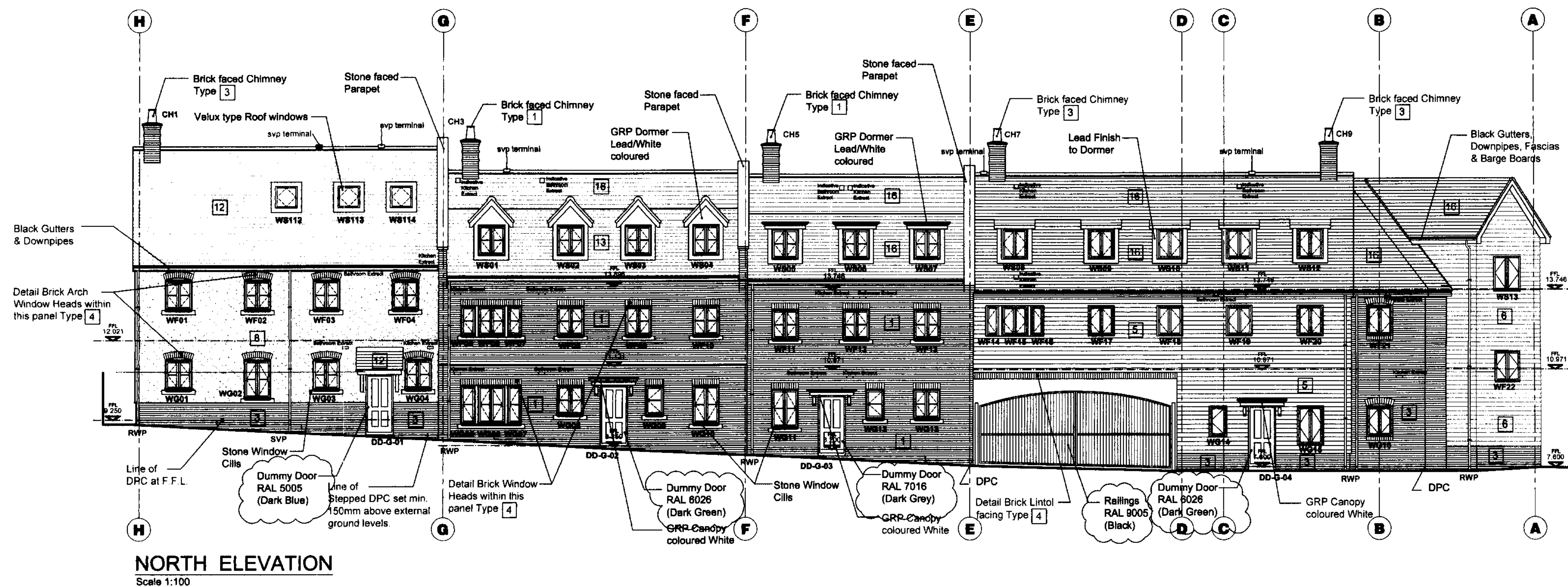
**BARRATT**



Client :	HALLMARK DEVELOPMENTS LTD
Project :	ROCHE CLOSE, ROCHFORD
Drawing :	BLOCK A - INTERNAL ELEVATIONS
Scale :	1:100 @ A1
Date :	FEBRUARY 2005
Cad Ref :	Dwg Ref : 04 - 0595 - A - 112 C7

**GRAFIK Architects Ltd**  
5 Crescent Court High Street Billericay Essex CM12 9AQ  
Tel 01277 658233 Fax 01277 658234

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KEY PLAN

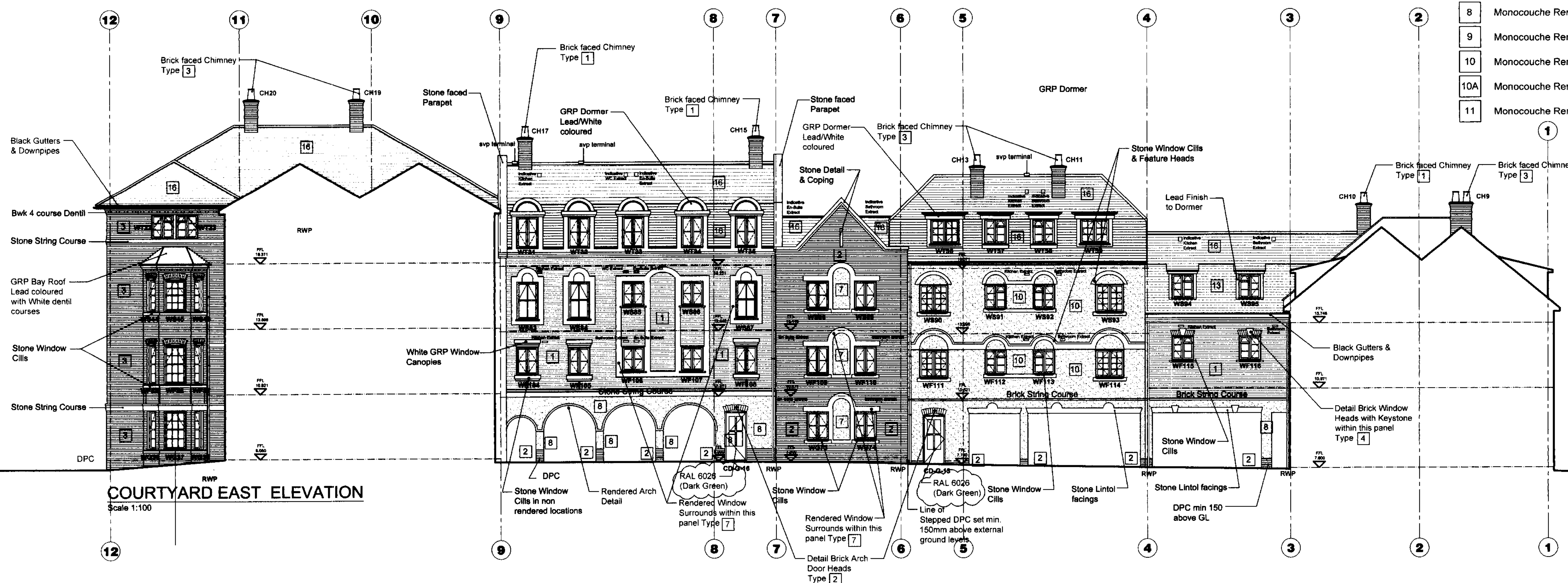
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Note:  
All windows and doors unless otherwise noted to be coloured RAL 9003 (White)



**CONSTRUCTION**

C11	23/10/06	Additional colours added as highlighted	be
C10	25-08-06	Roof finish updated as noted	be
C9	21-07-06	Windows changed to casement where possible	A.D.
C8	26-06-06	SVP and terminal added North Elevation	be
C7	18-03-06	Line of DPC clarified/added	RB
C6	05-03-06	Configuration of windows WG09, WG12, WS83, WS84 & WS87 amended, WS112, WS113 & WS114 added	be
C5	01-02-06	Materials key added and finishes updated	be
C4	03-01-06	Ridge height updated to match section.	CA
C3	16-12-05	FFL level reduced between grid lines 2 & 4. RWP added.	DNV
C2	26-10-05	General updates & amended to LA's requirements	be
C1	05-09-05	Construction issue. Entrance Canopy amended.	CA
Rev No	Date	Amendment	Initials

**BARRATT**

**GRAFIK**  
architecture

Client: BARRATT EASTERN COUNTIES  
Project: ROCHE CLOSE, ROCHFORD  
Drawing: BLOCK C - North and East Elevations  
Scale: 1:100 @ A1  
Date: DECEMBER 2004  
Cad Ref: -  
Dwg Ref: 04 - 0595 - C - 205 C11

GRAFIK Architects Ltd  
Station Court Radford Way Billerica Essex CM12 0DZ  
Tel 01277 658233 Fax 01277 658234

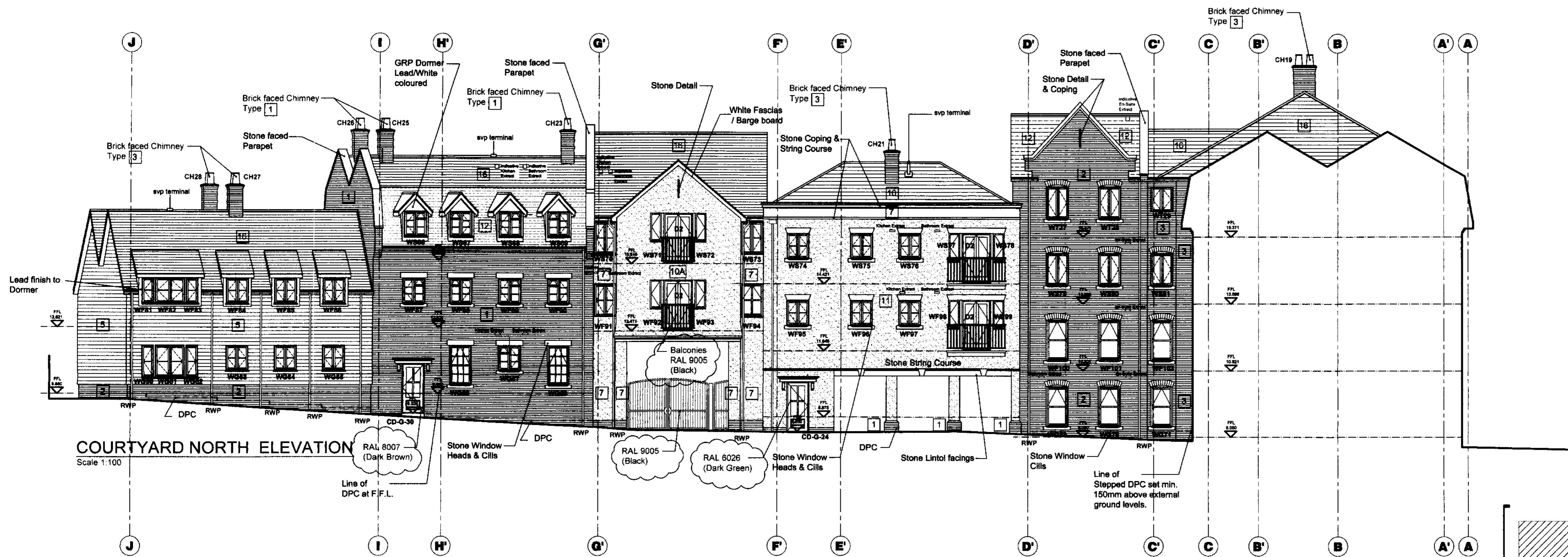
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WALL FINISHES KEY

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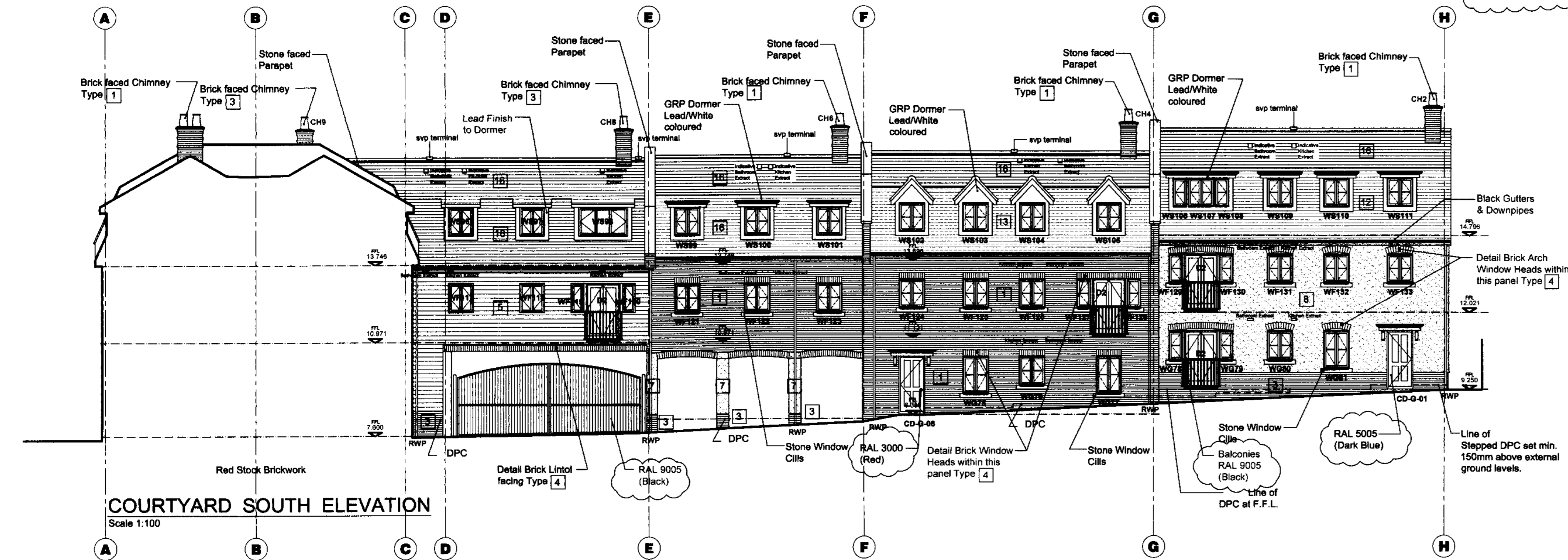
ROOF FINISHES KEY

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- 14 Marley Mosborough Red Anglia Tiles
- 15 Interlocking Terracotta Pantiles
- 16 Spanish Slates



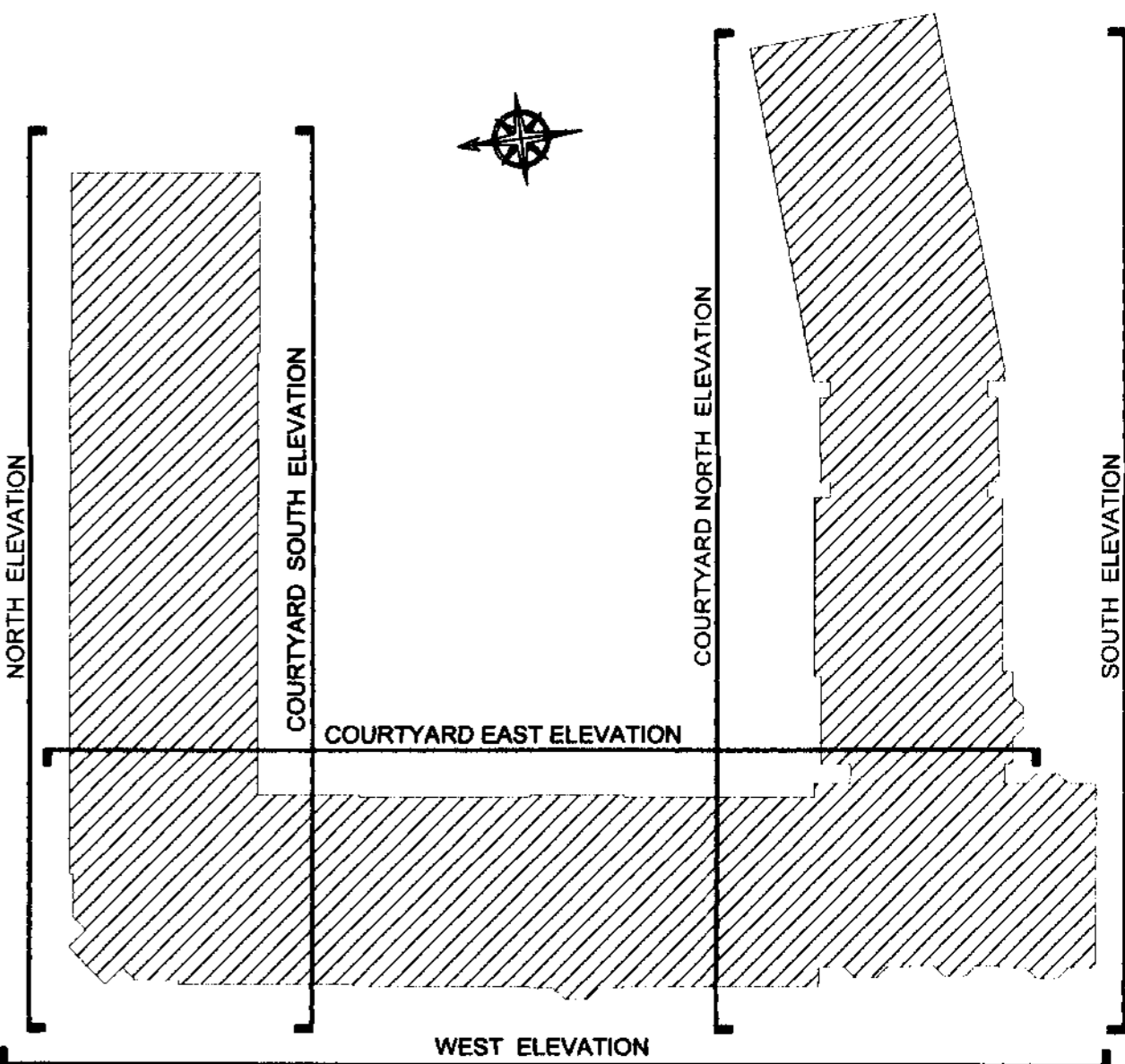
COURTYARD NORTH ELEVATION

Scale 1:100



COURTYARD SOUTH ELEVATION

Scale 1:100



KEY PLAN

Rev No	Date	Amendment	Initials
C13	23/10/06	Additional colours added as highlighted	be
C12	25-08-06	Roof finish updated as noted	be
C11	21-07-06	Windows changed to casement where possible	A.D
C10	16-03-06	Line of DPC clarified/added	RB
C9	03-03-06	Configuration of windows WG78, WG79, WF127 to WF130 amended	
C8	16-02-06	Parapet added	be
C7	09-02-06	Key added to brick plinth North Elevation GL E' - D'	be
C6	01-02-06	Materials key added and finishes updated	be
C5	16-01-06	Roof scape updated	CA
C4	16-12-05	Profile of section changed. RWP & Parapet added.	DNV
C3	26-10-05	General updates & amended to LA's requirements	be
C2	23-09-05	4 storey roof updated.	CA
C1	05-09-05	Construction Issue	CA

BARRATT

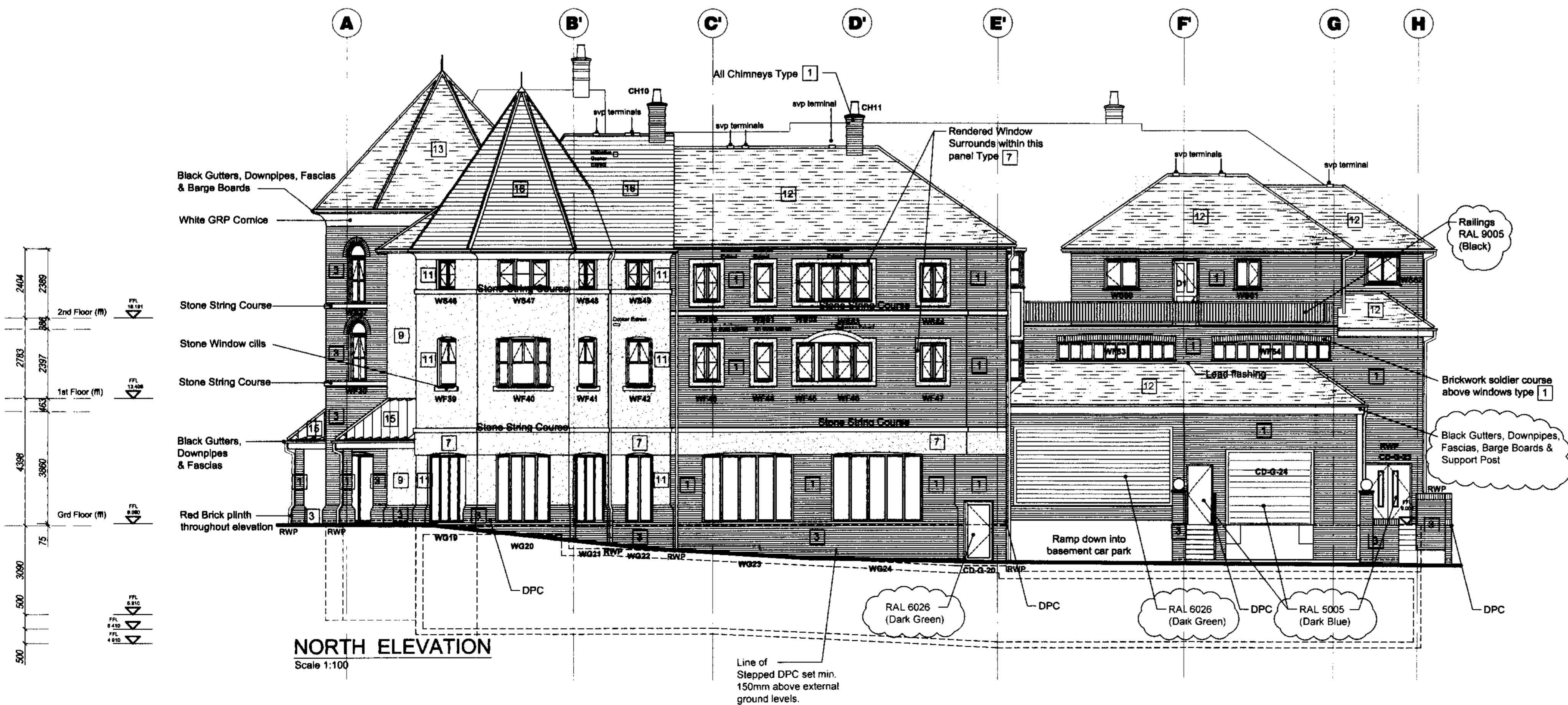
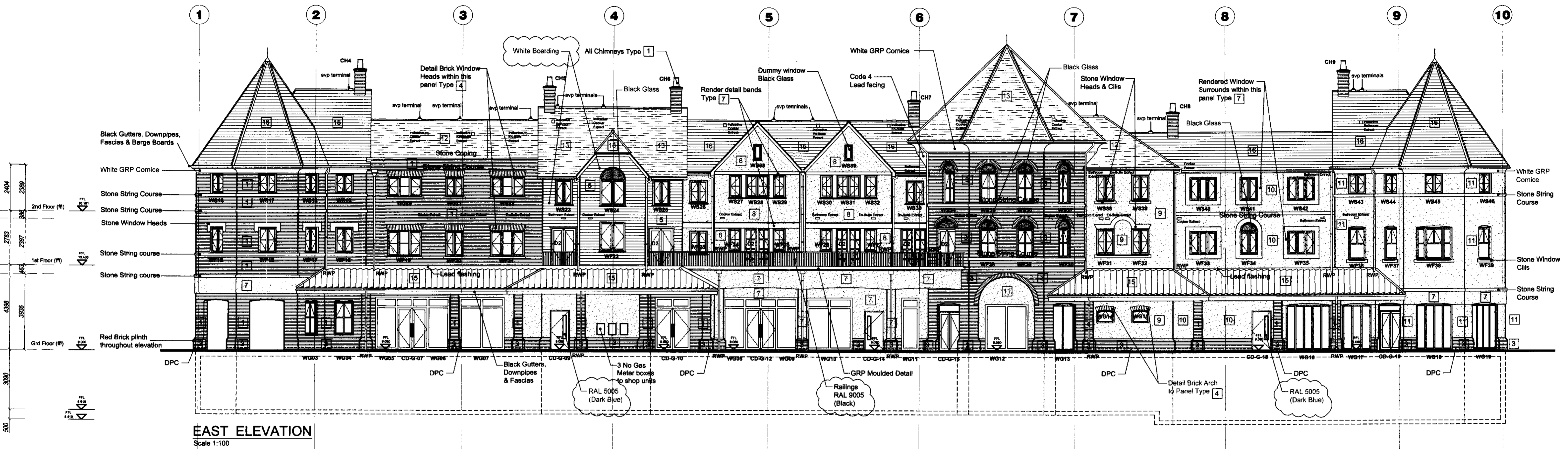


Client :	BARRATT EASTERN COUNTIES
Project :	ROCHE CLOSE, ROCHFORD
Drawing :	BLOCK C - Courtyard North & South Elevations
Scale :	1:100 @ A1
Cad Ref :	-
Date :	DECEMBER 2004
Dwg Ref :	04 - 0595 - C - 207 C13

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CONSTRUCTION



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Note:  
All windows and doors unless otherwise  
noted to be coloured RAL 9003 (White)

## CONSTRUCTION

C9	23/10/06	Additional colours added as highlighted	be
C8	21/07/06	Windows changed from moch sash to casement where possible	A D
C7	11/04/06	W588 & 89 added to East Elev & central pyramid roof updated	be
C6	16/03/06	Line of Dpc clarified/added	RB
C5	28/02/06	Arch brick type added as indicated	be
C4	23/02/06	Type 14 roof tiles amended on upper roofs all elevations	be
		Windows with Black glass noted	be
C3	01/02/06	Materials key added and finishes updated	be
C2	26/10/05	General updates & amended to LIA's requirements	be
C1	02/09/05	Gas meter boxes added to front elevation, loading bay gates deleted and doors amended on North Elevation and issued for construction	be

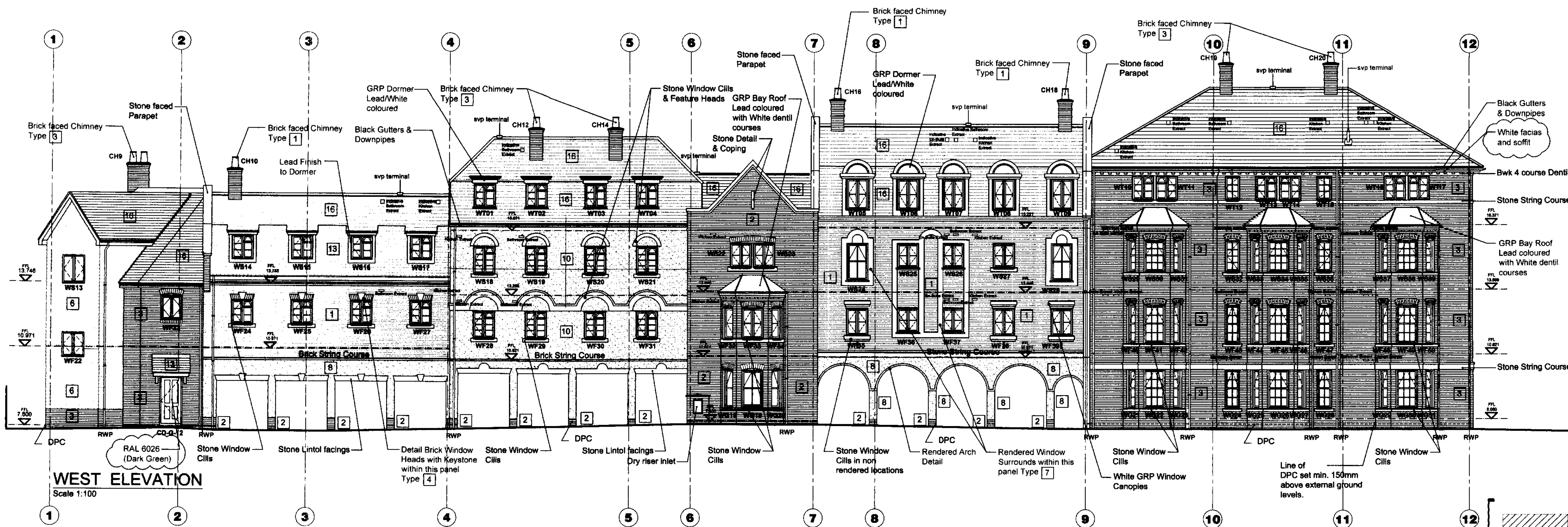
Rev No	Date	Amendment	Initials
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**BARRATT**



Client :	HALLMARK DEVELOPMENTS LTD
Project :	ROCHE CLOSE, ROCHFORD
Drawing :	BLOCK A - FRONT AND SIDE ELEVATIONS
Scale :	1:100 @ A1
Cad Ref :	Dwg Ref : 04 - 0595 - A - 110 C8
GRAFIK Architects Ltd	
5 Crescent Court High Street Billerica Essex CM12 9AQ	
Tel 01277 658233 Fax 01277 658234	
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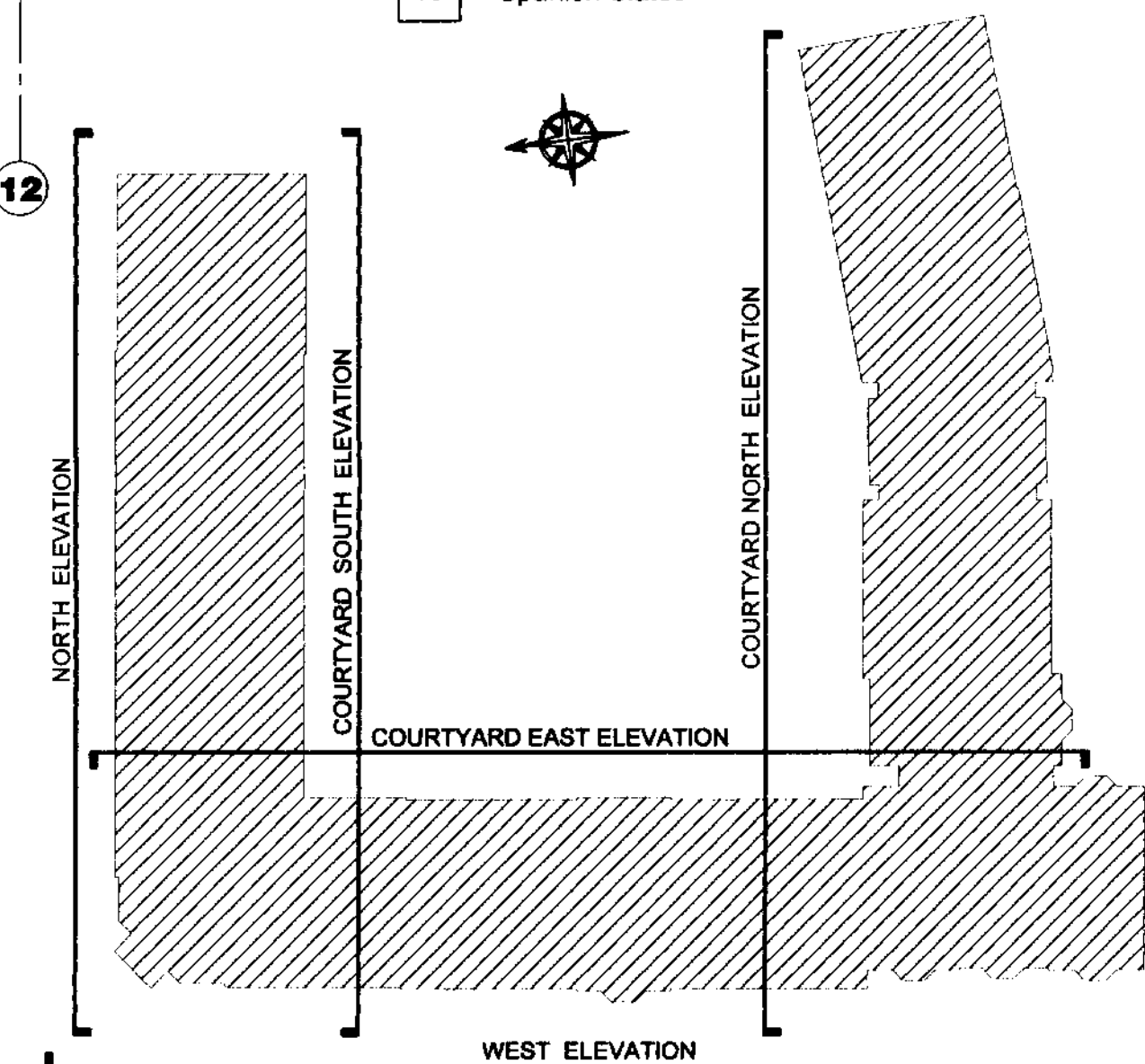


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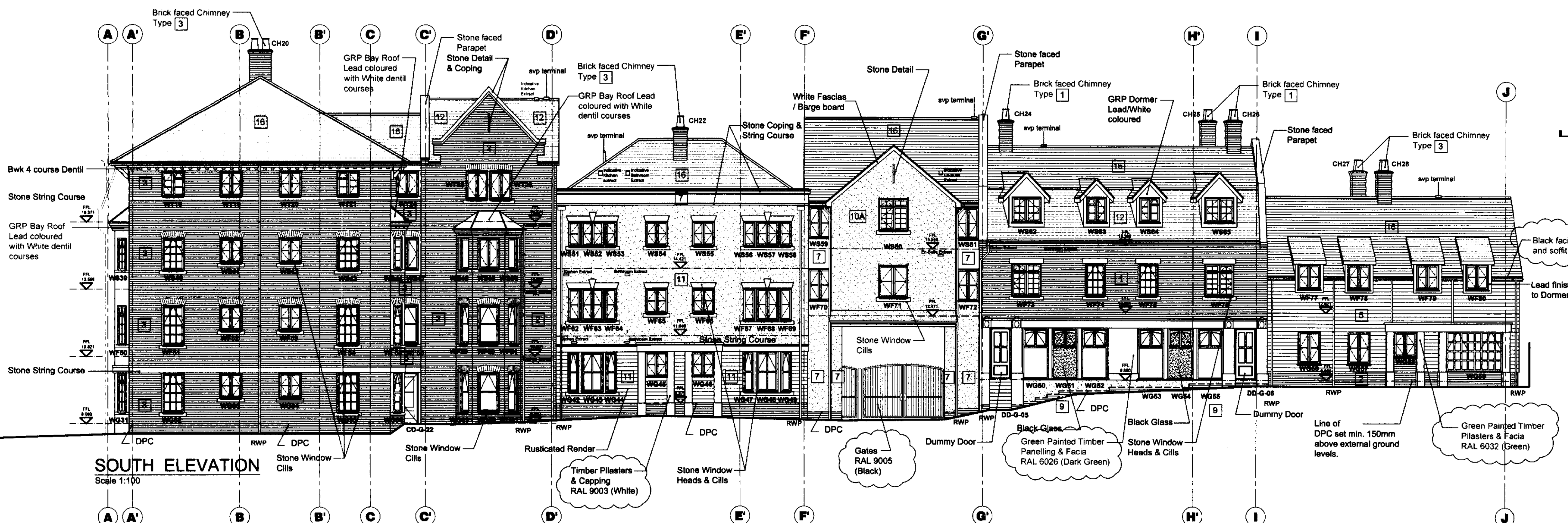
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Note:  
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otherwise noted to be coloured  
RAL 9003 (White)



# KEY PLAN

Rev No	Date	Amendment	Initials
C14	23/10/06	Additional colours added as highlighted	be
C13	25-08-06	Roof finish updated as noted	be
C12	21-07-06	Windows changed to casement where possible	A.D.
C11	16-03-06	Line of DPC clarified/added	RB
C10	03-03-06	Configuration of windows W524 & W528 amended	be
C9	24-02-06	Dry riser inlet added	be
C8	18-02-06	Parapet added	be
C7	01-02-06	Materials key added and finishes updated	be
C6	10-01-06	Roof escape updated	CA
C5	03-01-06	Ridge height updated to match section	CA
C4	16-12-05	FFL level reduced between grid lines 2 & 4	DNV
C3	26-10-05	General updates & amended to LA's requirements	be
C2	23-09-05	4 storey roof updated	CA
C1	05-09-05	Construction issue. Entrance canopy amended.	CA

BARRATT



Client :	BARRATT EASTERN COUNTIES
Project :	ROCHE CLOSE, ROCHFORD
Drawing :	BLOCK C - West & South Elevations
Scale :	1:100 @ A1
Cad Ref :	Dwg Ref : 04 - 0595 - C - 206 C14

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CONSTRUCTION