

The Planning and Design Bureau

Land-Use Planning and Architecture

24th September 2012

Rochford District Council,
Planning Department,
Council Offices,
13-19 South Street,
Rochford,
Essex,
SS4 1BW



APPLICATION SUBMITTED VIA PLANNING PORTAL

Dear Sir or Madam,

Application to Discharge Planning Conditions 2 and 10

11/00560/FUL - Demolish Existing Side Projection, Erect Part Three Storey, Part Single Storey Extension to Form End Terrace House, Alter Existing Dwelling With Construction of Front and Rear Dormers With Juliet Balcony to Front Dormer, Demolish Bay Window and Erect Single Storey Front Extension, Alter Fenestration, Construct Single Storey Rear Extension. Alter Land Level to Rear Garden to Accommodate Patio to Rear of Extended Dwelling.

1 Burrows Way Rayleigh, Rayleigh, Essex, SS6 7DF

Further to this grant of planning permission, please find enclosed an application to discharge relevant planning conditions. The application comprises:

1. Application Form;
2. Application Fee - £85.00 (cheque sent under separate cover);
3. Drawing *PDB/12/71/01 CONDITIONS – Block and Roof Plan – Materials Storage*;
4. List of Materials/Finishes;
5. Hanson Hampton Rural Blend Product Brochure;
6. Brett Alpha Antique – Charcoal Paving Product Brochure.

This letter also forms part of the application and I would be grateful if the following comments are taken into consideration:

Condition 2 - Materials (external facing materials including windows and doors)

The applicant has provided the accompanying List of materials/Finishes, which sets out all of the external materials and finishes for the proposed development. In relation to bricks and paving I also enclose product brochures to assist your deliberations. The applicant is happy to submit material samples if required: please let me know.

Condition 10 – Materials Storage Area. Accompanying this application is drawing *PDB/12/71/01 – Block and Roof Plan – Materials Storage*, which indicates in green hatching the land set aside for materials storage and the parking of contractors' vehicles.

I trust that these details are sufficient to discharge relevant conditions of the planning permission but should you need further information please do not hesitate to contact me and I will arrange for its prompt submission. Details and documents are produced in these offices and so the application can be swiftly amended if required.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Stewart Rowe', with a stylized flourish at the end.

Stewart Rowe, Dip TP, MRTPI

Encl. Documents as set out above
CC. Mrs C Mitchell

Application for approval of details reserved by condition.
Town and Country Planning Act 1990
Planning (Listed Buildings and Conservation Areas) Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website.
If you require any further clarification, please contact the Authority's planning department.

1. Applicant Name, Address and Contact Details

Title:	<input type="text" value="Mr"/>	First name:	<input type="text" value="Stephen"/>	Surname:	<input type="text" value="Staddon"/>		
Company name:	<input type="text"/>						
Street address:	<input type="text" value="29 Burrows Way"/>			Telephone number:	<input type="text"/>	<input type="text"/>	<input type="text"/>
Town/City:	<input type="text" value="Rayleigh"/>			Mobile number:	<input type="text"/>	<input type="text"/>	<input type="text"/>
County:	<input type="text" value="Essex"/>			Fax number:	<input type="text"/>	<input type="text"/>	<input type="text"/>
Country:	<input type="text"/>			Email address:	<input type="text"/>		
Postcode:	<input type="text"/>						

Are you an agent acting on behalf of the applicant? ☒ Yes ☐ No

2. Agent Name, Address and Contact Details

Title:	<input type="text" value="Mr"/>	First Name:	<input type="text" value="Stewart"/>	Surname:	<input type="text" value="Rowe"/>		
Company name:	<input type="text" value="The Planning & Design Bureau"/>						
Street address:	<input type="text" value="45 Hart Road"/>			Telephone number:	<input type="text" value="01268"/>	<input type="text" value="758999"/>	<input type="text"/>
	<input type="text" value="Thundersley"/>			Mobile number:	<input type="text" value="07960"/>	<input type="text" value="917174"/>	<input type="text"/>
Town/City:	<input type="text" value="Benfleet"/>			Fax number:	<input type="text"/>	<input type="text"/>	<input type="text"/>
County:	<input type="text" value="Essex"/>			Email address:	<input type="text" value="stewart.rowe1@tiscali.co.uk"/>		
Country:	<input type="text" value="United Kingdom"/>						
Postcode:	<input type="text" value="SS7 3PB"/>						

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3. Site Address Details

Full postal address of the site (including full postcode where available)

House: 1 Suffix:
House name:
Street address: Burrows Way
Town/City: Rayleigh
County: Essex
Postcode: SS6 7DF

Description of location or a grid reference
(must be completed if postcode is not known):

Easting: 580268
Northing: 190461

Description:

4. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

5. Description of Proposal

Please provide a description of the approved development as shown on the decision letter:

Demolish Existing Side Projection, Erect Part Three Storey, Part Single Storey Extension to Form End Terrace House, Alter Existing Dwelling With Construction of Front and Rear Dormers With Juliet Balcony to Front Dormer, Demolish Bay Window and Erect Single Storey Front Extension, Alter Fenestration, Construct Single Storey Rear Extension. Alter Land Level to Rear Garden to Accommodate Patio to Rear of Extended Dwelling

Application reference number: 11/00560/FUL

Date of decision: 30/11/2011

Please state the condition number(s) to which this application relates:

Condition number(s):

2, 10

Has the development already started?

☐ Yes ☒ No

6. Discharge of Condition(s)

Please provide a full description and/or list of the materials/details that are being submitted for approval:

Please refer to accompanying letter and documents

7. Part Discharge of Condition(s)

Are you seeking to discharge only part of a condition?

☐ Yes ☒ No

8. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☒ The agent ☐ The applicant ☐ Other person

9. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.



Date

25/09/2012

List of Materials/Finishes

Address:	1 Burrows Way, Rayleigh, Essex SS6 7DF
Facades:	1st Floor Front & Rear Facades – Smooth Render Area below DPC – Smooth Render Remaining: Brickwork Hanson Hampton Rural Blend
Colour:	Gardenia (Dulux Colour Chart) or Coloured Render to Match
Windows:	<ol style="list-style-type: none">1) Cream Exterior / White Interior UPVC / Sash windows to the front OR casement top hung & side hung windows to give a similar appearance to that of a sash window.2) Cream Exterior / White Interior casement windows to the rear3) Cream Exterior / White Interior UPVC bi-folding doors to rear single storey extension4) Velux roof light (above 1st floor stairwell) – black metal finish5) Velux Flat Roof Window (to single storey extension)
Slate:	Cupa R12 – 50 x25 Natural Slate Tile Origin – Spain. Note: An alternative tile originating from the same area but brought in by a different importer (Undercover Roofing Supplies) may be used. These tiles will have the same appearance and be of the same quality (i.e. 1 st premium grade) as the Cupa R12, but will originate from a different quarry. Samples are available.
Juliette Balcony:	Architectural Glass / Stainless Steel fixings

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Fascia, Soffits &
B/Boards

UPVC - Black

Chimney Stack:

GRP with matching brick/mortar cap
(Hampton Rural Blend)

Front Door:

Black Composite Glazed Door

Block Paving / Driveway Retaining
Walls:

Brett Alpha Antique Blocks - Charcoal
Walls: Smooth Render (Gardenia)

Outbuildings:

Wooden shed stained to traditional
mahogany finish

Patio:

Walls – Smooth Render (Gardenia)
Paving – Slate Slabs

Fencing:

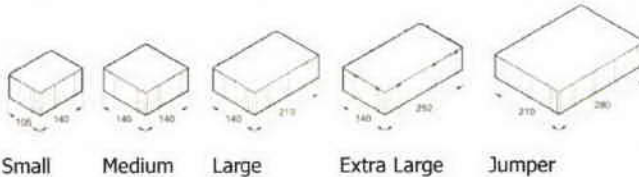
A mix of 4ft & 6ft overlap wooden
fencing to comply with planning consent

Alpha Antique Data Sheet

NSP+ Q24 10 110 112 113
Q25 335

Brett Alpha Antique is a modular surface tumbled paving block available in five sizes, specifically designed to create the appearance of a traditional aged paving.

Brett Alpha Antique also has a number of complimentary products including circle packs and kerbs, as well as permeable and machine lay options.



Brett Alpha Antique is suitable for all typical paving applications when designed and constructed in accordance with the requirements of BS 7533.

Blocks are supplied in void packs, to enable efficient site handling with paver transport carts and reduce wastage. Extra Large and Jumper sizes are palletised.

Where planned for use in machine lay applications, Brett Alpha Antique comes pre-palletised in a random stretcher course cluster. Please see Alpha Machine Lay Technical Data Sheet.

Product Specifications

Product Type	Precast Concrete Paving Block
Manufactured and tested to	BS EN 1338: 2003
Characteristic Tensile Splitting Strength (T)	≥ 3.6 MPa
Abrasion Resistance (Wide Wheel Test)	Class 4
Unpolished Slip Resistance Value (USRV)	Above 75 – Potential for slip – Extremely Low
Polished Pendulum Test Value (PPTV)	61 – Potential for slip – Low (Tested in accordance with BS6717:2001-2003)
Dimensional Tolerance	Thickness ± 3mm; Plan Size ± 2mm
Freeze / Thaw Resistance	Class 3
Total Water Absorption	Class 2



Remember to add the specific colour reference when ordering product; for example a Small 60mm Brett Alpha Antique block in Charcoal would be NLAS60CL.

Block	Code	Plan Size (mm)	Thickness (mm)	Blocks per m ²	Area (m ²) per pack	Blocks per pack	Pack weight (kg)
Small	NLAS60	105 x 140	60	68	10.32	702	1300
Medium	NLAM60	140 x 140	60	51	10.35	528	1300
Large	NLAL60	210 x 140	60	34	10.35	352	1300
Extra Large	NLAX60	252 x 140	60	28	8.89	252	1100
Jumper	NLAJ60	210 x 280	60	17	9.88	168	1200
Small	AS80	105 x 140	80	68	7.06	480	1174
Medium	AM80	140 x 140	80	51	7.06	360	1162
Large	AL80	210 x 140	80	34	7.06	240	1174
Extra Large	AX80	252 x 140	80	28	6.35	180	1097
Jumper	AJ80	210 x 280	80	17	7.06	120	1221



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Hampton Rural Blend

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Hampton Rural Blend

Manufactured to BS EN 771-1

Brick type

Category II, HD, Clay Masonry Unit

Standard work size

215 x 102.5 x 65mm

Dimensional tolerances

Tolerance category: T2

Range category: R1

Compressive strength

$\geq 20\text{N/mm}^2$

Water absorption

$\leq 13\%$

Durability

F2

Active soluble salts content

S2

Configuration

Frogged 8-13% voids

Dry weight per brick

2.35kg

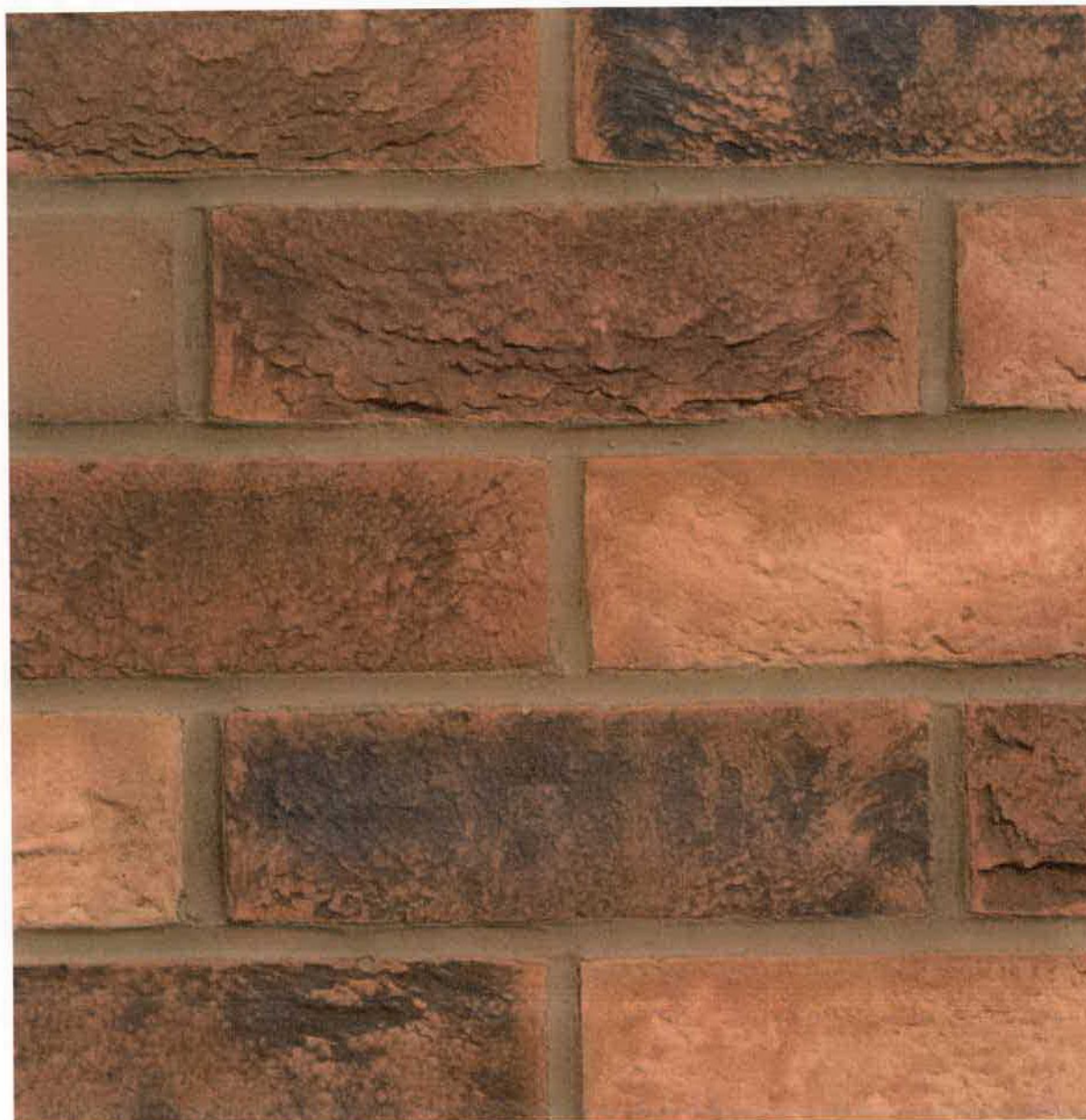
Pack size

495

This panel is printed on paper made using ecf from fibres obtained from a sustainable timber source.

DISCLAIMER:

The reproduction of colours and textures is only as accurate as the printing process will allow. Photographic samples should be used when shortlisting products but we advise that an actual sample should be seen before ordering.



ecostock[®]

The new Hanson Ecostock[®] range is the most environmentally friendly stock brick range in the UK.

- Efficient, fully automated process
- Energy consumption reduced by up to 50%
- Heat and water from the process is recycled
- Raw material waste is less than 1%
- Products contain recycled content
- All bricks are BES 6001 certified

 **Hanson**
HEIDELBERGCEMENT Group

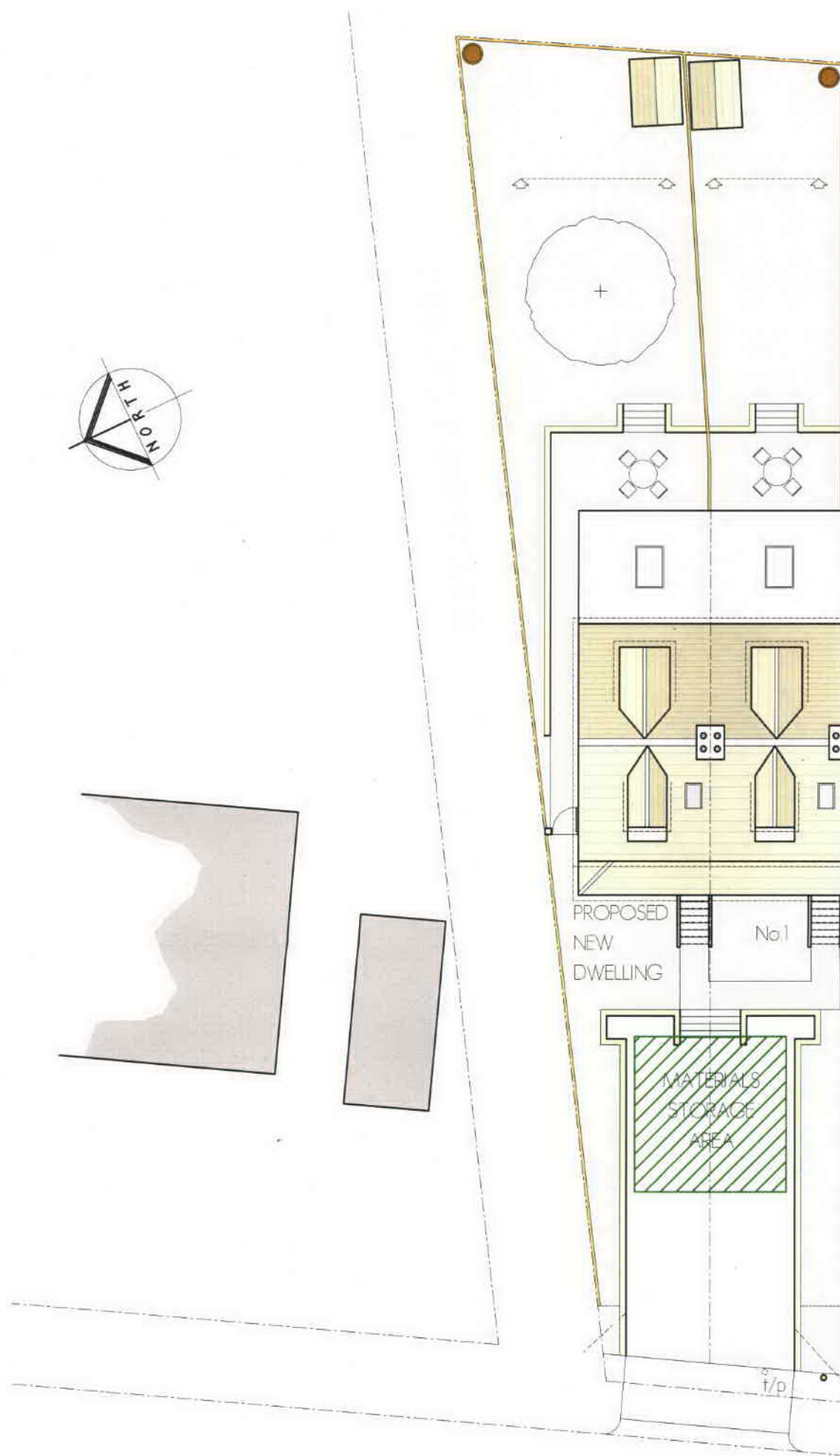
Hanson Building Products
222 Peterborough Road
Whittlesey
Cambridgeshire
PE7 1PD

Tel: 0330 1231017

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Email: bricks@hanson.com

www.hanson.com/uk/bricks



PROPOSED BLOCK AND ROOF PLAN

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The Planning & Design Bureau

Plan Title: Block and Roof Plan - Materials Storage
 Site Address: Land at 1 Burrows Way, Rayleigh, Essex
 Proposal: Erect Dwelling and Alter Existing Dwelling (Amended Proposal)
 Plan No: PDB/12/7V01 Scale: 1200 @ A3

THESE DRAWINGS ARE PRODUCED SOLELY ON BEHALF OF MR. STEPHEN STADDON TO OBTAIN PLANNING PERMISSION AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE

MEASUREMENTS SHOULD NOT BE SCALED OR ASSUMED FROM THESE DRAWINGS. ALL MEASUREMENTS SHOULD BE TAKEN ON SITE

