

Direct dial: 01279 873272



WH89/SAH/HMM/4.1

17 October 2005

Mr S Scrutton
Head of Planning Services
Rochford District Council
Council Offices
Rochford
Essex SS4 1BW

Attention: Mr L Palmer

The Weston Group
Business Centre
Parsonage Road, Takeley
Essex CM22 6PU
Telephone: 01279 873333
Fax: 01279 873378
E mail:
info@weston-homes.com
Web site:
www.weston-homes.com

Dear Mr Scrutton

**Re: Erection of 16 Dwellings
Wyburns Nursery, 178 Daws Heath Road and Land
at Rear of 76 Wyburns Avenue, Rayleigh, Essex**

Following the Planning Inspectorate's decision to grant Planning Permission for the above development, Appeal Reference APP/B1550/A/05/1179766, please find enclosed the following information in respect of the planning conditions:

Condition 1 – Statutory Time Period

No further action.

Condition 2 – Materials

We propose the facing brick to be the Baggeridge Gilt Red Stock and Baggeridge Yellow Gilt Stock, samples of which were sent attached to the letter dated 23 September 2005 and were verbally approved in discussion with Mr Luder. The roof tile we propose will be the Russell Grampian Slate Grey, a sample of which is attached. Windows and doors will be white pvc with brickwork over and a sample of the proposed windows and doors will be sent under separate cover.

Condition 3 – No Extensions Permitted

No further action.

Condition 4 – No Alterations to Roofs Permitted

No further action.

Condition 5 – No Outbuildings Permitted

No further action.

Condition 6 – No Enclosure to Roof Area Permitted

No further action.



INVESTOR IN PEOPLE

Directors
R.P. Weston (Chairman)
R.P. Wells A.C.A.
S.P. Bickel BSc. (Hons)
B.J. Cheek ACIOB MBIM MICM
M.W. Alden
S.W. Rainger
S.R. Thomas A.C.A.
G.R. Jacob

R.J. Downing LL.B (Non Executive)
R.G. Taylor (Non Executive)

Registered in England
No. 2133568



Condition 7 – No Enlargement of Openings Permitted

No further action.

Condition 8 – Boundary Details

The enclosed Drawing Number WH89/05/P10.00 indicates all the proposed boundary treatments.

Condition 9 – Landscaping

We enclose Drawing Number WH89/05/P10.00 which shows our landscaping proposals.

Condition 10 – Planting

Agreed, no further action.

Condition 11 – Sight Splays

Agreed.

Condition 12 – Carriageway to Base Course

Agreed, no further action.

Condition 13 – Bound Surface to Driveways

We enclose Drawing Number WH89/05/P10.00 which shows our surface materials proposal.

Condition 14 – Garage Blocks

We enclose Drawing Numbers WH89/05/P10.01 and WH89/05/P10.02 which show our garage block detail proposals.

Condition 15 – Garages and Hardstands Prior to Occupation

Agreed, no further action.

Condition 16 – Roof Light Detail

We enclose an A4 extract of a section which shows our roof light proposals for Plots 6 and 7. This confirms that the bottom edge of the roof light is 1700mm above finished floor level.

Condition 17 – Finished Ground Levels

We enclose Drawing Number WH89/05/15-09 which shows our proposals for finished ground levels.

Condition 18 – Finished Ground Floor Levels

We enclose Drawing Number WH89/05/15-09 which shows our proposals for finished ground floor levels.

Condition 19 – Contamination Scheme

Please refer to our Preliminary Site Investigation Report, as previously submitted, regarding contamination.

Direct dial: 01279 873272



Condition 20 – Investigation and Assessment of Contamination

Please refer to our Preliminary Site Investigation Report regarding contamination.

Condition 21 – Drainage

We enclose Drawing Number WH89/05/15-09 which shows our drainage proposals.

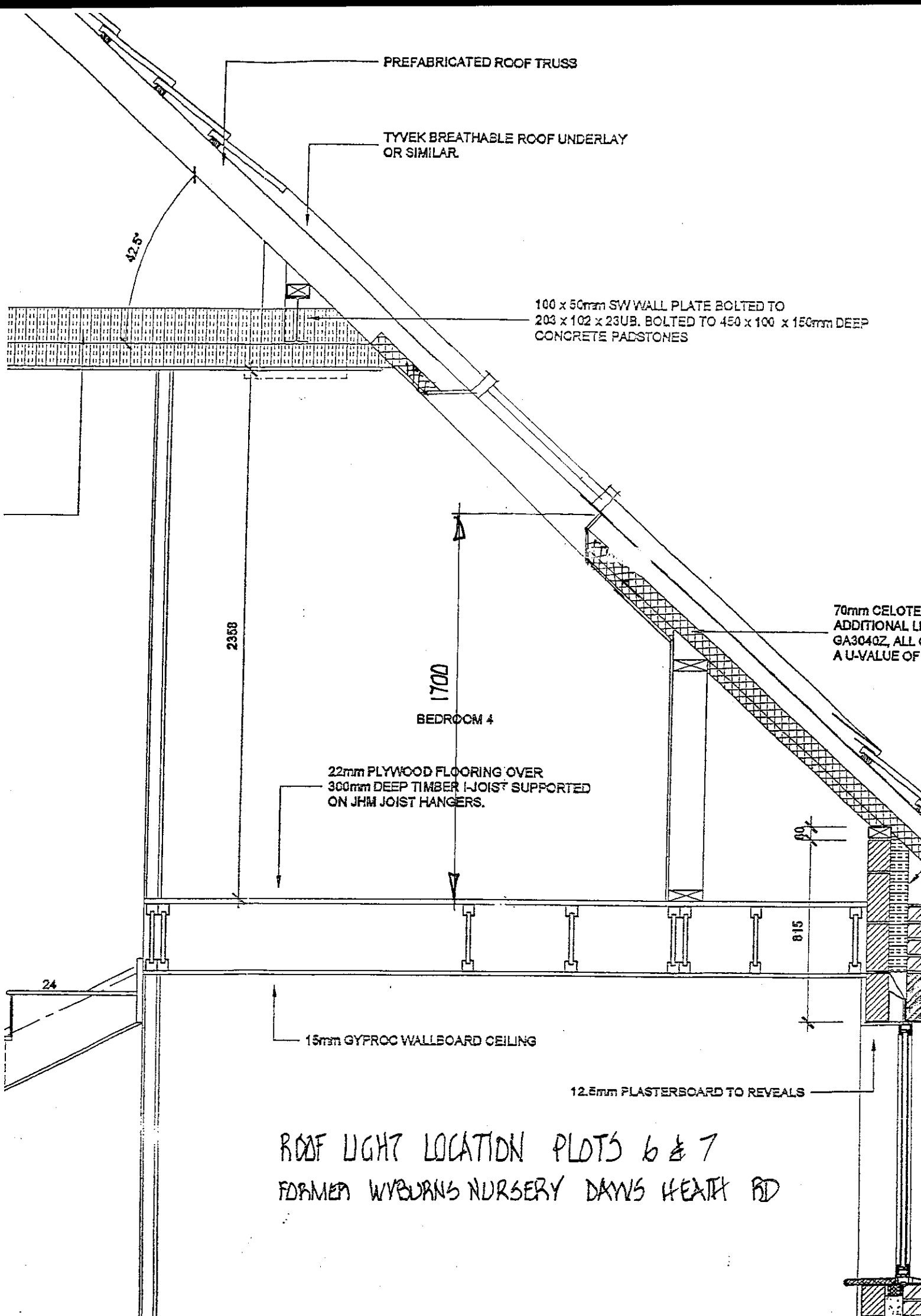
We trust the above is acceptable but if you do have any queries or require additional information please do not hesitate to contact me.

Yours sincerely

A handwritten signature in black ink, appearing to read "S A Hatton".

S A Hatton
Planning Assistant

Encs



PREFABRICATED ROOF TRUSS

TYVEK BREATHABLE ROOF UNDERLAY OR SIMILAR.

42.5°

100 x 50mm SW WALL PLATE BOLTED TO 203 x 102 x 23UB. BOLTED TO 450 x 100 x 150mm DEEP CONCRETE PADSTONES

2358

1700
BEDROOM 4

70mm CELOTEX ADDITIONAL LI GA3040Z, ALL A U-VALUE OF

22mm PLYWOOD FLOORING OVER 300mm DEEP TIMBER JOIST SUPPORTED ON JHM JOIST HANGERS.

80

815

24

15mm GYPROC WALLBOARD CEILING

12.5mm PLASTERBOARD TO REVEALS

ROOF LIGHT LOCATION PLOTS 6 & 7
FORMER WYBURN'S NURSERY DAWNS HEALTH RD

SCHEDULE	
PLOT 1	- TYPE D - BLOCK B - 3 BED
PLOT 2	- TYPE C - BLOCK B - 3 BED
PLOT 3	- TYPE C - BLOCK B - 3 BED
PLOT 4	- TYPE B - BLOCK A - 4 BED
PLOT 5	- TYPE A - BLOCK A - 3 BED
PLOT 6	- TYPE F - BLOCK C - 3 BED
PLOT 7	- TYPE F - BLOCK C - 3 BED
PLOT 8	- TYPE E - BLOCK C - 3 BED
PLOT 9	- TYPE E - BLOCK C - 3 BED
PLOT 10	- TYPE E - BLOCK C - 3 BED
PLOT 11	- TYPE F - BLOCK D - 3 BED
PLOT 12	- TYPE F - BLOCK D - 3 BED
PLOT 13	- TYPE F - BLOCK D - 3 BED
PLOT 14	- TYPE F - BLOCK D - 3 BED
PLOT 15	- TYPE F - BLOCK E - 3 BED
PLOT 16	- TYPE A - BLOCK E - 3 BED
TOTAL No. OF UNITS 16	



FACING BRICKS
 AT LOW LEVEL (INDICATED BY BRICK LINES ON THE APPROVED PLANS) - BAGGERIDGE RED GILT STOCK
 REMAINDER TO BE - BAGGERIDGE YELLOW GILT STOCK
 FEATURE BRICK TO BE - BAGGERIDGE RED GILT STOCK

ROOF
 RUSSELL GRAMPAIN CONCRETE ROOF TILE - COLOUR SLATE GREY

PRIVATE DRIVES
 RMC PRIORITY SETTS - COLOUR AUTUMN RED

PARKING AREAS
 TO BE IN TARMAC

PAVING AREAS
 600 X 600MM BUFF PAVING SLAB

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 BOUNDARY FENCING BETWEEN A TO B GENERALLY IN GOOD CONDITION, REPAIR WHERE NECESSARY

1.8M CLOSEBOARD FENCE

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0.9M HIGH LARCH LAF FENCE

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 - D. SORBUS AUCUPARIA
- SHRUBS
- LARGE SHRUBS (TO REAR OR CENTRE OF BED)
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 - G. KERRIA JAPONICA SLT 60 - 90cm
 - H. POTENTILLA FRUTICOSA 'KATHERINE DYKES' 2LT 30 - 45cm
- GROUND COVER (AT FRONT OF BED)
- J. VIBURNUM DAVIDII 2LT 30 - 40cm
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 - L. COTONEASTER 'CORAL BEAUTY' 2LT 20 - 30cm
 - M. HEBE 'CARL TESCHNER' 2LT 20 - 30cm
 - N. HEBE PINGUIFOLIA (PAGE1) 2LT 20 - 30cm

NOTES:-

TOPSOIL -
 SHRUB BEDS TO BE PROVIDED WITH MIN 150mm DEEP 50/50 OF GOOD QUALITY TOP SOIL AND TREE/SHRUB COMPOST AND TOP DRESSED WITH SLOW RELEASE FERTILIZER AND MULCHED WITH MINIMUM 50mm BARK

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 UPON COMPLETION OF PLANTING ALL PLANTED AREAS MUST BE WATERED TO FULL CAPACITY. A 50mm LAYER OF MELCOURT INDUSTRIES (OR SIMILAR) SPRUCE ORNAMENTAL CONIFER BARK MULCH MUST BE SPREAD TO THE ENTIRE BED AREA.

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 ALL TREES MUST BE STAKED USING 75mm DIAMETER PRESSURE TREATED SOFT WOOD STAKES SECURED USING 2No. TOMS TREE TIES. ALL TREES MUST BE THOROUGHLY WATERED TO FIELD CAPACITY IMMEDIATELY PRIOR TO AND IMMEDIATELY AFTER PLANTING.

Title **LANDSCAPE LAYOUT**

Site **WH89 WYBURNS NURSERY**

Drg. **WH89/05/P10.00**

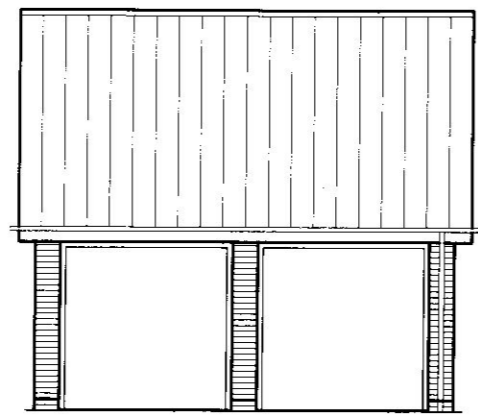
PLANNING AND DESIGN

Drawn by **SAH**

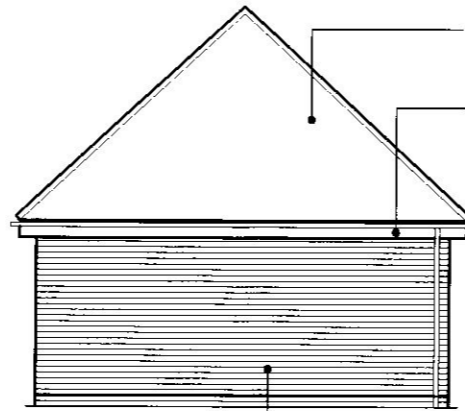
Date **OCT '05** Scale **1:500 @ A3**

Weston Homes Plc

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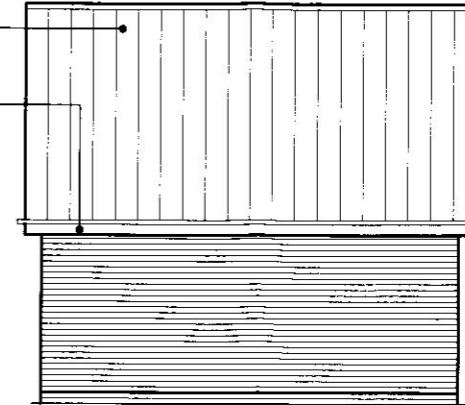
FRONT ELEVATION
(1:100)



SIDE ELEVATIONS
(1:100)

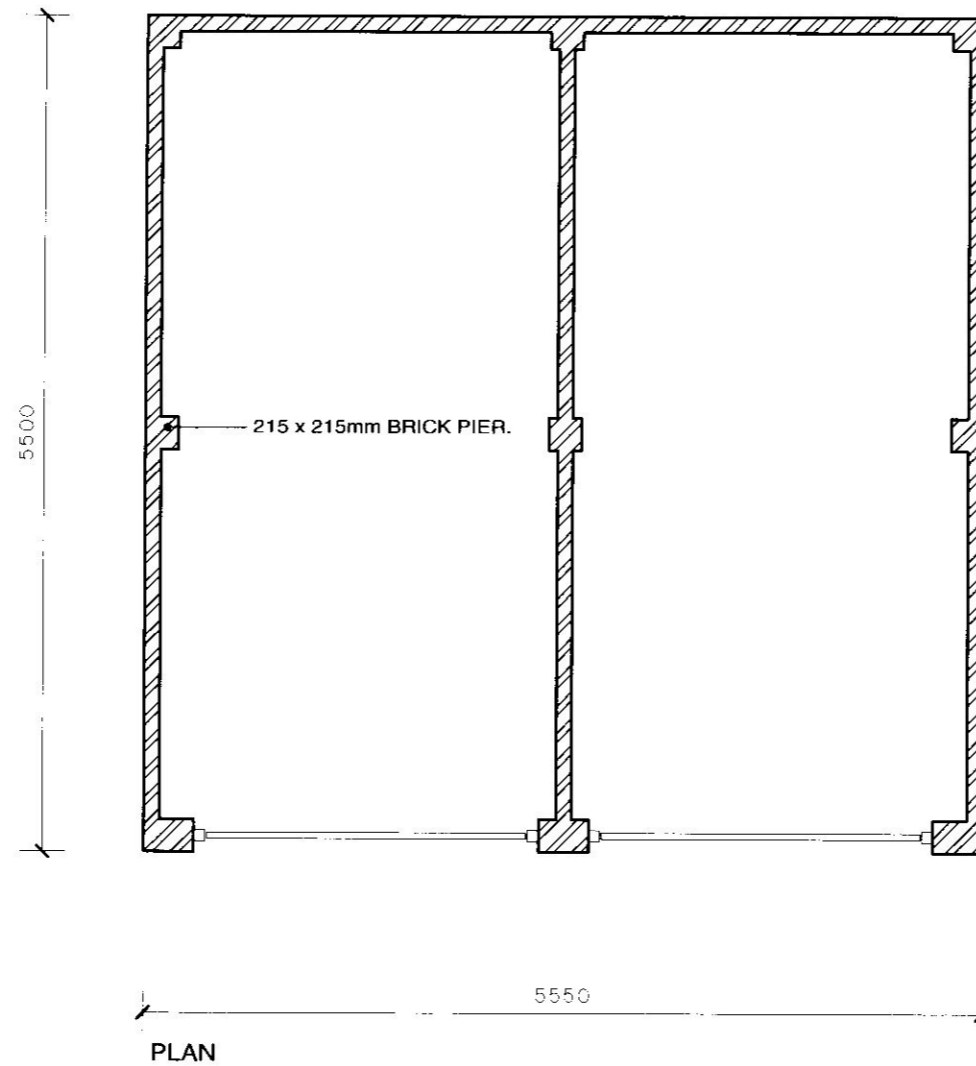
RUSSELL GRAMPIAN SLATE
GREY ROOF TILE

TIMBER FASCIA -
PAINTED WHITE

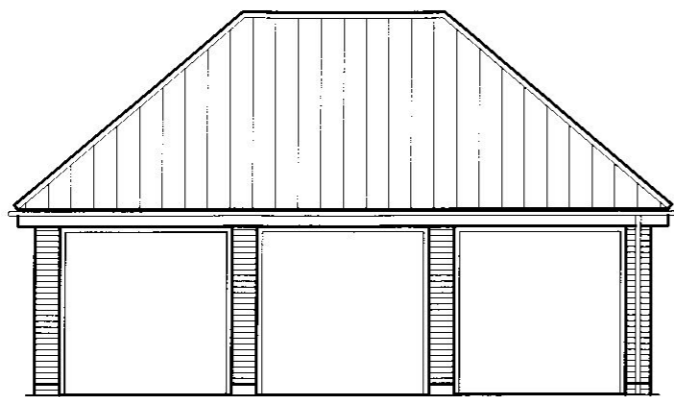


REAR ELEVATION
(1:100)

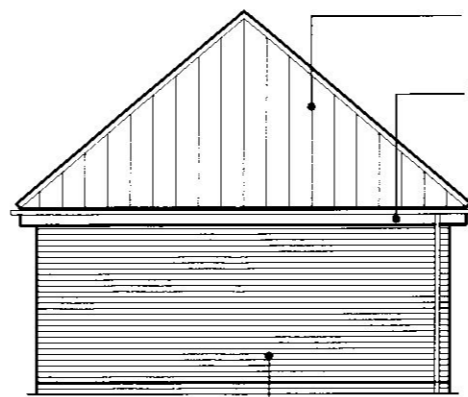
PLOTS 10 AND 11



Title	
DOUBLE GARAGE	
Site WYBURNS NURSERY	
Drg. WH89/05/P10.02	
Date	Rev.
OCT '05	
By SAH	Scale 1:50@A3
<small>The Weston Group Business Centre Parsorage Road, Takeley, Essex, CM27 6PU Tel: 01279 873333 Fax: 01279 873378</small>	



FRONT ELEVATION
(1:100)

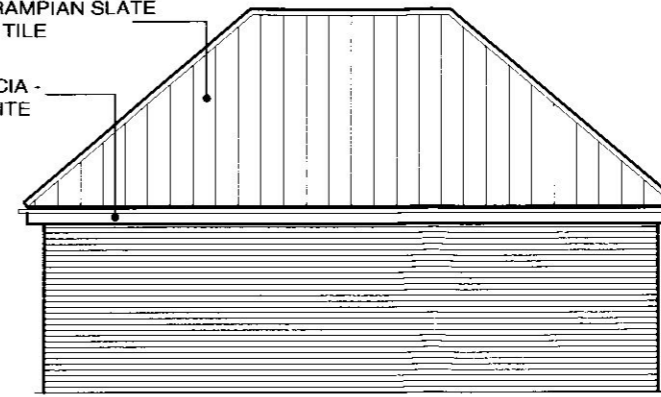


SIDE ELEVATIONS
(1:100)

RUSSELL GRAMPIAN SLATE
GREY ROOF TILE

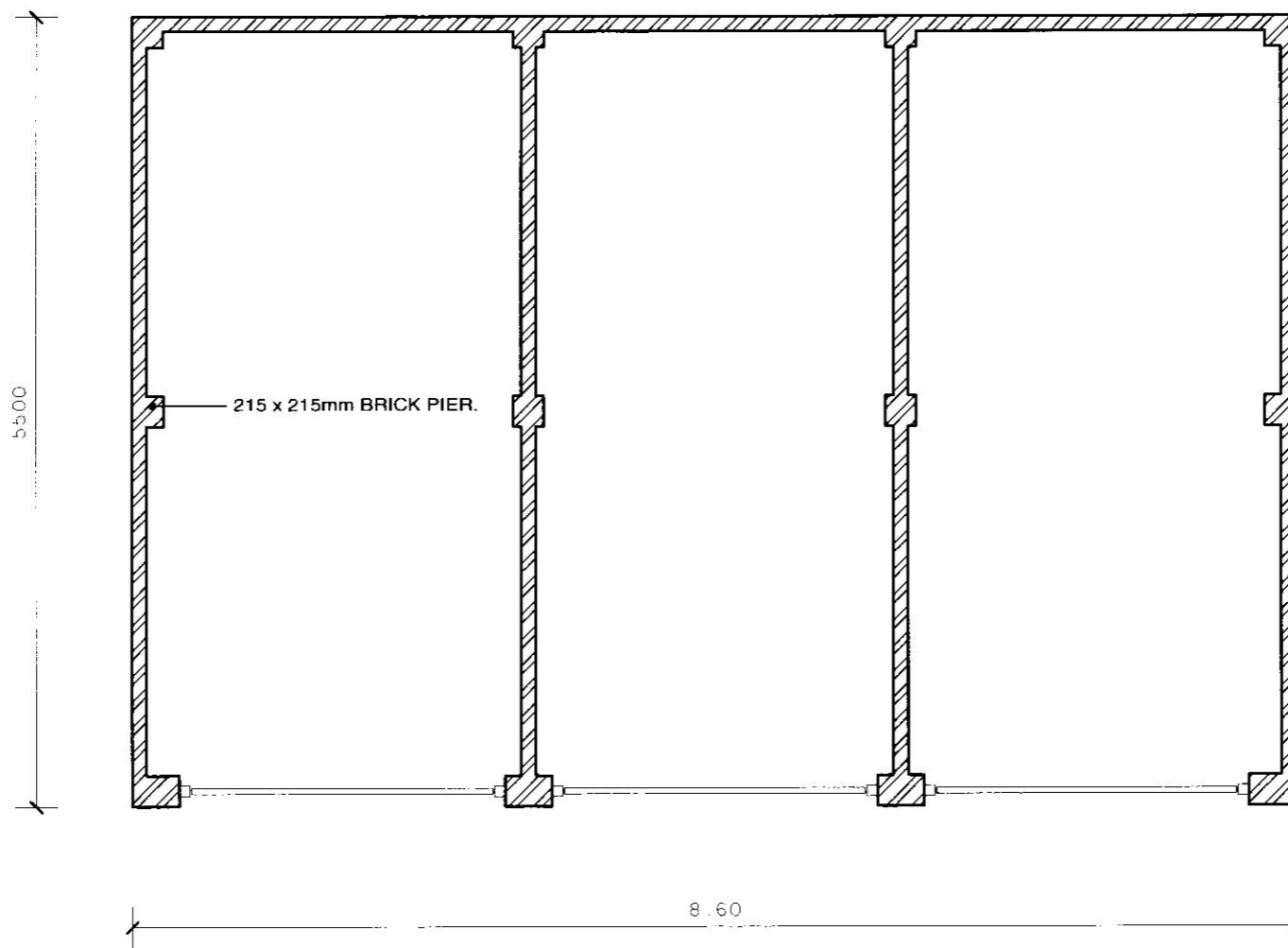
TIMBER FASCIA -
PAINTED WHITE

FACING BRICK - BAGGERIDGE
YELLOW GILT STOCK



REAR ELEVATION
(1:100)

PLOTS 5, 6 AND 7



PLAN

Title		TRIPLE GARAGE	
Site		WYBURNS NURSERY	
Org.		WH89/05/P10.01	
Date	OCT '05	Rev.	
By	SAH	Scale	1:50@A3
The Weston Group Business Centre Parsonage Road, Takeley, Essex CM22 6PJ Tel: 0-279 873333 Fax: 01279 873378			

STN	EASTING	NORTHING	LEVEL
1	350.000	750.000	48.227
2	387.895	724.011	46.881
3	384.881	690.490	46.893
4	380.956	645.654	46.215

COVER AND FRAME TO BE SET TO SUIT PROPOSED GROUND LEVELS. CONTRACTOR TO VERIFY EXACT I.L. BEFORE COMMENCING ANY UPSTREAM DRAINAGE WORKS

EXISTING FVMMH
C.L. = 47.170
I.L. = 46.598
DEPTH = 0.584

PRIVATE FVMMH 1
TYPE B 1200
C.L. = 46.500
I.L. = 44.455
DEPTH = 2.045
E = 387.538
N = 694.693



- Notes:
- This drawing is to be read in conjunction with all other drawings. Any discrepancies found between information shown on this or any other drawing to be reported to Weston Homes engineer immediately.
 - Levels are based on existing control.
 - Private foul water drainage to be 100mm ϕ , unless otherwise stated.
 - Private surface water drainage to be 100mm ϕ , unless otherwise stated.
 - Private foul water drainage to be laid to 1 in 80 fall minimum, unless otherwise stated.
 - Private surface water drainage to be laid to 1 in 100 fall minimum, unless otherwise stated.
 - Pipes in landscaping areas with less than 450mm cover and pipes in road/car parking areas with less than 900mm cover to have concrete bed and surround. All other pipes to be laid in class S bedding.
 - All trenches to be backfilled with site arising material.
 - All private drainage to be tested upon completion to the satisfaction of the Building Inspector and documentary evidence to be passed to Weston Homes.
 - Any private drainage passing through foundations to be protected using an RC lintel.
 - All drainage pipes to be vitrified clay or uPVC in accordance with BS65 and BS4660 respectively.
 - All pipes, chambers and fittings to be installed, bedded and backfilled in accordance with manufacturers instructions.
 - Private inspection chambers situated in areas not subjected to vehicular loading to have Class A15 cover and frame to BS EN 124.
 - No saddle connections to be used for connection of private drainage to adopted sewer system.
 - All connections from last private M/VIC into adopted manhole or sewer to be laid in straight grade and in vitrified clay pipework only.
 - Contractor to ensure inspection by Anglian Water Utilities representative is carried out. Contractor to provide documentary evidence to Weston Homes engineer upon completion.
 - Anglian Water contact: Ruth Aldrich
Tel: 01206 289470
 - For private drainage construction details refer to drawing no. WH89/05/15-10

SURFACE WATER RODDING EYES			
R.E.	C.L.	I.L.	DEPTH
R1	46.540	46.190	0.350
R3	46.850	46.095	0.555

FOUL WATER INSPECTION CHAMBERS				
I.C.	C.L.	I.L.	DEPTH	TYPE
F1	46.850	48.080	0.590	450mm
F2	46.850	45.985	0.665	450mm
F3	46.785	46.150	0.635	450mm
F4	46.785	48.120	0.685	450mm
F5	46.785	48.096	0.690	450mm
F6	46.560	45.980	0.590	250mm
F7	46.560	45.980	0.600	250mm
F8	46.850	45.450	1.200	450mm
F9	46.720	46.120	0.600	450mm
F10	46.720	46.045	0.675	450mm
F11	46.420	45.820	0.600	250mm
F12	46.420	45.820	0.600	250mm
F13	46.700	45.715	0.985	450mm
F14	46.350	45.885	0.665	450mm
F15	46.350	45.605	0.745	450mm
F16	47.375	46.850	0.725	450mm
F17	47.285	46.850	0.635	450mm
F18	47.200	46.710	0.490	450mm

- KEY**
- ADOPTABLE FOUL WATER SEWER BUILT AS PART OF THE S104 WORKS
 - ADOPTABLE SURFACE WATER SEWER BUILT AS PART OF THE S104 WORKS
 - ADOPTABLE FOUL WATER SEWER BUILT AS PART OF THE S104 WORKS
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 - PRIVATE FOUL WATER SEWER AND INSPECTION CHAMBER
 - PRIVATE SURFACE WATER SEWER AND INSPECTION CHAMBER
 - PRIVATE FOUL WATER SEWER AND INSPECTION CHAMBER
 - PRIVATE SURFACE WATER SEWER AND INSPECTION CHAMBER
 - - - PROPOSED CONNECTION FROM SVP
 - - - PROPOSED CONNECTION FROM RWP
 - YARD GULLY
 - EASEMENT FOR NEW ADOPTABLE SW SEWER
 - - - SITE BOUNDARY

Checked Prelim Issue	Checked Contoc Issue
Author	Author
Manager	Manager

PRELIMINARY DOCUMENT ISSUE

Title: PRIVATE DRAINAGE LAYOUT

Site: WYBURNS NURSERY

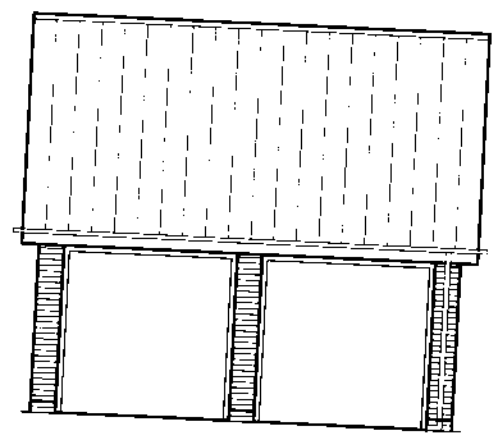
Dwg: WH89/05/15-09

Date: 28/09/05

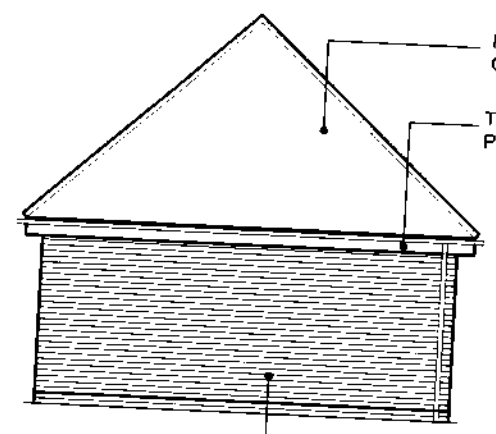
Scale: 1:200@A1

Weston Homes Plc

The Weston Group Business Centre,
Parsonage Road, Toleley, Essex, CM22 8PU.
Tel: 01279 873333 Fax: 01279 873376
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FRONT ELEVATION
(1:100)

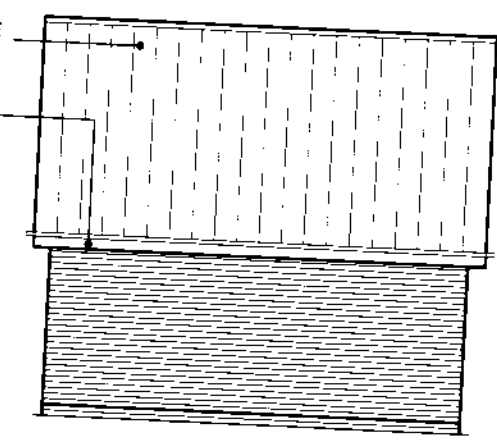


SIDE ELEVATIONS
(1:100)

RUSSELL GRAMPIAN SLATE
GREY ROOF TILE

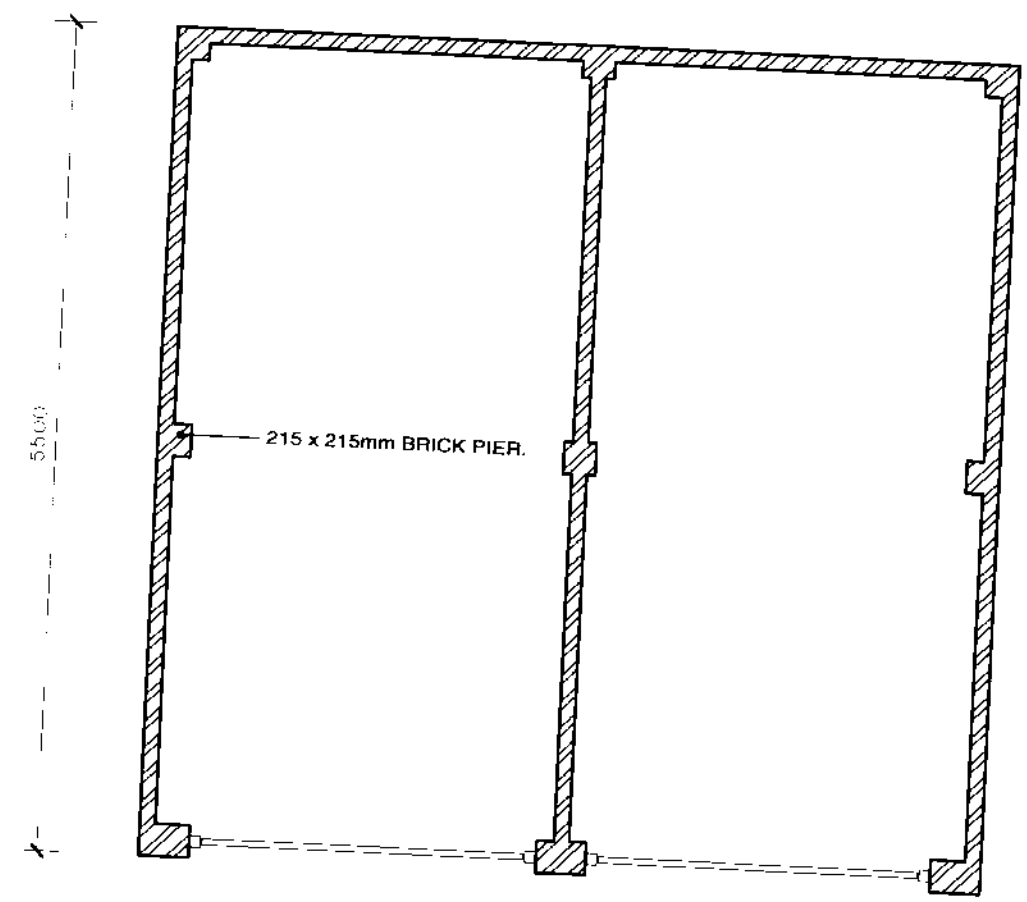
TIMBER FASCIA -
PAINTED WHITE

FACING BRICK - BAGGERIDGE
YELLOW GILT STOCK



REAR ELEVATION
(1:100)

PLOTS 10 AND 11



PLAN

Title		DOUBLE GARAGE	
Site		WYBURNS NURSERY	
Drg.		WH89/05/P10.02	
Date	OCT '05	Rev.	
By	SAH	Scale	1:50@A3
<small>The Weston Group Business Centre Harshage Road, Takeley, Essex, CM22 6PL Tel: 01279 873333 Fax: 01279 873318</small>			

SCHEDULE

PLOT 1 - TYPE D - BLOCK B - 3 BED
 PLOT 2 - TYPE C - BLOCK B - 3 BED
 PLOT 3 - TYPE C - BLOCK B - 3 BED
 PLOT 4 - TYPE B - BLOCK A - 4 BED
 PLOT 5 - TYPE A - BLOCK A - 3 BED
 PLOT 6 - TYPE F - BLOCK C - 3 BED
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 PLOT 8 - TYPE E - BLOCK C - 3 BED
 PLOT 9 - TYPE E - BLOCK C - 3 BED
 PLOT 10 - TYPE E - BLOCK C - 3 BED
 PLOT 11 - TYPE F - BLOCK D - 3 BED
 PLOT 12 - TYPE F - BLOCK D - 3 BED
 PLOT 13 - TYPE F - BLOCK D - 3 BED
 PLOT 14 - TYPE F - BLOCK D - 3 BED
 PLOT 15 - TYPE F - BLOCK E - 3 BED
 PLOT 16 - TYPE A - BLOCK E - 3 BED

TOTAL No. OF UNITS 16



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 AT LOW LEVEL (INDICATED BY BRICK LINES ON THE APPROVED PLANS) - BAGGERIDGE RED GILT STOCK
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NOTES:-

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Drg. **WH89/05/P10.00**

PLANNING AND DESIGN

Drawn by **SAH**

Date **OCT '05** Scale **1:500@A3**

Weston Homes Plc

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